



College Station, TX

Meeting Agenda Design Review Board

1101 Texas Ave, College Station, TX 77840

Internet: www.microsoft.com/microsoft-teams/join-a-meeting

Meeting ID: 232 702 319 308 5 | Passcode: yx3B64X9

Phone: +1 979-431-4880 | Phone Conference: 620 089 875#

The City Council may or may not attend this meeting.

July 11, 2025

11:00 AM

City Hall 1938 Executive
Conference Room

Notice is hereby given that a quorum of the meeting body will be present in the physical location stated above where citizens may also attend in order to view a member(s) participating by videoconference call as allowed by 551.127, Texas Government Code. The City uses a third-party vendor to host the virtual portion of the meeting; if virtual access is unavailable, meeting access and participation will be in-person only.

1. Call meeting to order and consider absence requests.

2. Hear Visitors.

At this time, the Chairperson will open the floor to citizens wishing to address issues not already scheduled on today's agenda. Each citizen's presentation will be limited to three minutes in order to allow adequate time for the completion of the agenda items. Comments will be received and city staff may be asked to look into the matter, or the matter may be placed on a future agenda for discussion. A recording may be made of the meeting; please give your name and address for the record.

3. Agenda Items

3.1. Consideration, discussion and possible action to approve meeting minutes.

Attachments: 1. July 14, 2023

3.2. Presentation, discussion, and possible action to consider an appeal to the landscape buffer standards in the Unified Development Ordinance Section 6.4.AB. "Specific Use Standards" for 111 Cooner Street, which is zoned GC General Commercial and R-4 Multi-Family. Case #AWV2025-000028

Sponsors: Jeff Howell

Attachments:

1. Staff Report
2. Applicant's Supporting Information
3. Zoning Map
4. Landscape Buffer Appeal Exhibit
5. Site Plan (in process) (6/16/25 Submittal with updated landscape plan)

4. Discussion and possible action on future agenda items.

A member may inquire about a subject for which notice has not been given. A statement of specific factual information or the recitation of existing policy may be given. Any deliberation shall be limited to a proposal to place the subject on an agenda for a subsequent meeting.

5. Adjourn.

Adjournment into Executive Session may occur in order to consider any item listed on the agenda if a matter is raised that is appropriate for Executive Session discussion.

I certify that the above Notice of Meeting was posted on the website and at College Station City Hall, 1101 Texas Avenue, College Station, Texas, on July 3, 2025 at 5:00 p.m.



City Secretary

This building is wheelchair accessible. Persons with disabilities who plan to attend this meeting and who may need accommodations, auxiliary aids, or services such as interpreters, readers, or large print are asked to contact the City Secretary's Office at (979) 764-3541, TDD at 1-800-735-2989, or email adaassistance@cstx.gov at least two business days prior to the meeting so that appropriate arrangements can be made. If the City does not receive notification at least two business days prior to the meeting, the City will make a reasonable attempt to provide the necessary accommodations.

Penal Code § 30.07. Trespass by License Holder with an Openly Carried Handgun.

"Pursuant to Section 30.07, Penal Code (Trespass by License Holder with an Openly Carried Handgun) A Person Licensed under Subchapter H, Chapter 411, Government Code (Handgun Licensing Law), may not enter this Property with a Handgun that is Carried Openly."

Codigo Penal § 30.07. Traspasar Portando Armas de Mano al Aire Libre con Licencia.

"Conforme a la Seccion 30.07 del codigo penal (traspasar portando armas de mano al aire libre con licencia), personas con licencia bajo del Sub-Capitulo H, Capitulo 411, Codigo de Gobierno (Ley de licencias de arma de mano), no deben entrar a esta propiedad portando arma de mano al aire libre."



**Minutes
Design Review Board
July 14, 2023
City Hall 1938 Executive Conference Room**

Board Members Present: Acting Chairperson Ray Holiday, Board Members David Hebert, Nicole Gallucci, and Barry Ely

Board Members Absent: Chairperson Jason Cornelius, Board Members Susan McGrail and William McKinney

Staff Present: Director of Planning and Development Services Michael Ostrowski, Assistant Director of Planning and Development Services Molly Hitchcock, Senior Planner Jeff Howell, and Staff Assistant II Tiffany Romero

AGENDA ITEM NO. 1: Call to order.

Acting Chairperson Holiday called the meeting to order at 11:33 a.m.

AGENDA ITEM NO. 2: Hear Visitors

No visitors spoke.

AGENDA ITEM NO. 3.1: Consideration, discussion, and possible action to approve meeting minutes.

- September 9, 2022

Board Member Gallucci motioned to approve the minutes. Board Member Hebert seconded the motion, which passed (4-0).

AGENDA ITEM NO. 3.2: Presentation, discussion, and possible action to consider a waiver to the Unified Development Ordinance Section 7.10.C.3.a "Horizontal Façade Articulation" for 1500 Holleman Drive East, which is zoned WPC Wolf Pen Creek. Case # AWV2023-000012

Senior Planner Howell presented the waiver request to not provide horizontal facade articulation for the building's primary facade facing Holleman Drive East to the Board, and recommended approval of the request.

Board Member Hebert asked if the problem is the vertical articulation or horizontal.

Senior Planner Howell said it would be the horizontal articulation that is not meeting the depth and width requirements. Code requires that there is four feet of articulation projection or recession from the main plane that is a minimum of 33% of the width of the entire facade. This project is 211-ft. long, so 69 ft. 9 in. in width would be required. The applicant is requesting the waiver as they do not meet either requirement.

Acting Chairperson Holiday said he thinks the bump outs that they are doing are eight inches.

Senior Planner Howell said that there are several architectural relief elements that they are providing as per NRA standards. They are also providing awnings and canopies that are in excess of 18 inches.

Board Member Gallucci asked when the structure was built.

Senior Planner Howell stated it was built in 1981.

Board Member Gallucci asked when the requirement was enacted.

Assistant Director of Planning and Development Services Molly Hitchcock stated it was enacted in 2003.

Acting Chairperson Holiday stated they did a good job meeting the spirit of what was asked in the UDO. He stated that the four-ft. bump outs do not appear functional and larger elements would require structural and foundation alterations.

Board Member Hebert stated that the back of the building looks like they have the horizontal articulation and asked if the front is just where the issue is.

Senior Planner Howell confirmed the waiver is only for the front façade.

Board Member Ely asked if the building would need the addition of concrete or some other material to reach the required depth.

Senior Planner Howell introduced the applicant to answer questions.

Mr. Sterling Thompson, Applicant, Sterling and Kap Architects, LLC joined via Teams and explained that they do not feel like it is in their benefit to do some of the articulations. The four-ft. bump out would require cutting through concrete walls, opening them up, then having to re-support the structure that is already in place. He stated that they would have to dig out concrete on the outside and replace with a structured foundation for the four-ft. projections and add to the steel framing. It does not seem like it would create any benefit to have to go through all that structural change to gain the four-ft. articulation. For the use that is intended for the building, it does not provide a functional benefit for the inside of the building and does not create any useable space for how this building is planning to be used.

Mr. Thompson stated that the building will be a food court, with 28 to 29 small spaces, that will have different food services. He stated that they feel like they have tried to meet the intent of the ordinance with the front façade of an existing, unused building. They have added things to the face

of the building and projected them above the roof to hide roof top equipment. They have created more interest with new window openings and new materials across the front. The front entry will project out six or seven feet and new entries on the side and the back of the building will have the same treatment. The building will have open patios for food service outside and will connect to the Wolf Pen Creek trail.

Acting Chairperson Holiday asked for action on the waiver.

Board Member Ely motioned to approve the waiver, Board Member Hebert seconded the motion, which passed (4-0).

AGENDA ITEM NO. 4: Possible action and discussion on future agenda items – A Design Review Board Member may inquire about a subject for which notice has not been given. A statement of specific factual information or the recitation of existing policy may be given. Any deliberation shall be limited to a proposal to place the subject on an agenda for a subsequent meeting.

There were no items presented.

AGENDA ITEM NO. 5: Adjourn.

Acting Chairperson asked for motion to adjourn.

Board Member Hebert motioned to adjourn the meeting, Board Member Ely seconded the motion, which passed (4-0).

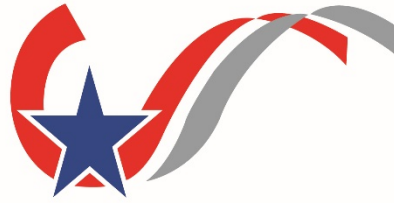
The meeting was adjourned at 11:51 a.m.

APPROVED:

Chairperson, Jason Cornelius

ATTEST:

Tiffany Romero, Board Secretary



CITY OF COLLEGE STATION
Home of Texas A&M University®

DESIGN REVIEW BOARD

**Appeal to Landscape
Buffer Standards
for
BTU Shady Lane
Substation
AWV2025-000028**

REQUEST: A waiver to the landscape buffer standards in UDO Section 6.4.AB. “Specific Use Standards” in order to reduce the landscape buffer width.

SCALE: 1.07 acres for the substation
Approximately 188 linear feet required to be buffered

LOCATION: 111 Cooner Street

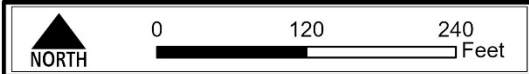
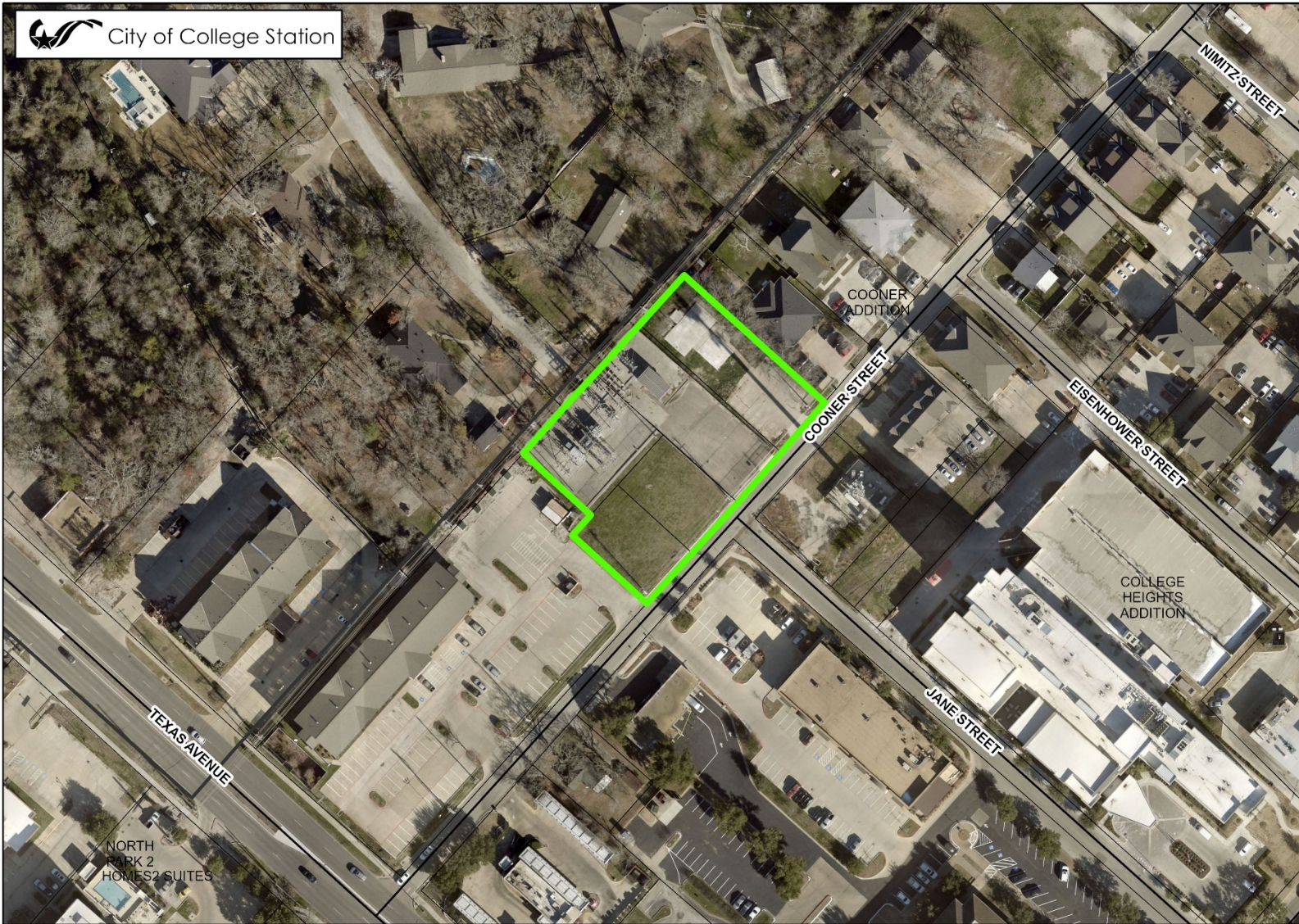
ZONING DISTRICT: GC General Commercial and R-4 Multi-Family

APPLICANT: Burns & McDonnell Engineering

PROJECT MANAGER: Jeff Howell, Senior Planner
jhowell@cstx.gov

RECOMMENDATION: Staff recommends denial of waiver request.

SUMMARY: The applicant is requesting the Board to modify the requirement of a 20-foot wide landscape buffer and reduce it to a 15-foot wide buffer for the BTU Shady Lane Substation. While the existing substation is proposing to expand, there is additional developable area for the development to be redesigned and provide the required buffer. The applicant states that with the required 20-foot buffer it is not be possible for BTU to meet their required maintenance and operational electrical equipment safety clearances. The applicant is proposing to install an 8’ high wall, as opposed to the 6’ fence required, leave an existing wooden fence in place, and utilize existing trees to meet the UDO planting requirement within the buffer.

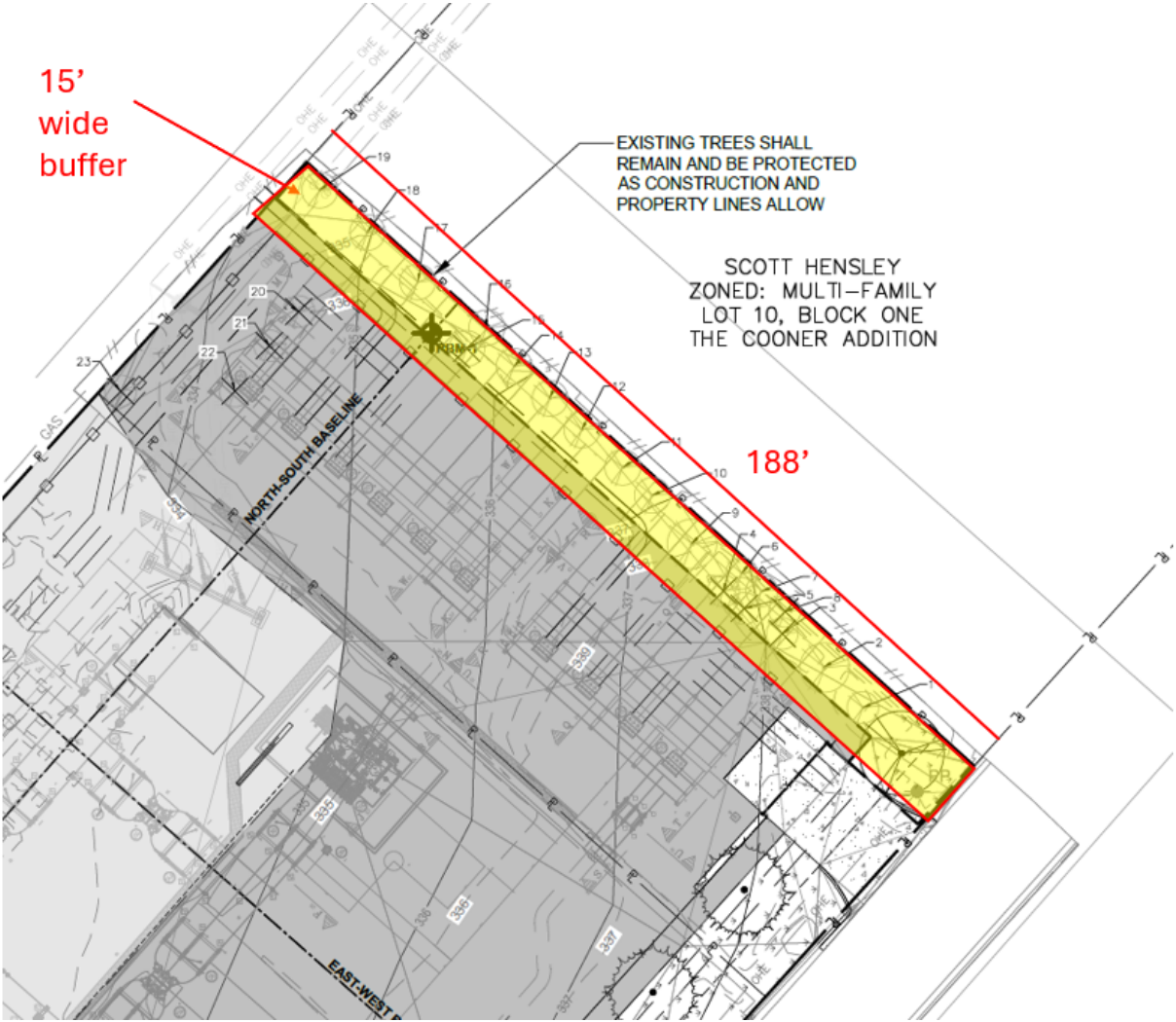


**SEEKING A 15-FOOT
LANDSCAPE BUFFER**

Case:
AWV2025-000028

APPEALS WAIVERS
VARIANCES

BACKGROUND: The applicant is presently site planning for an expansion of the existing BTU Shady Lane Substation. The development is proposed to expand the existing utility site from the current 0.49 acres to 1.07 acres (111, 113, 201, and 203 Cooner Street). The surrounding property is zoned GC General Commercial, R-4 Multi-Family, and O Office across Cooner Street. The property is also adjacent to the City of Bryan towards the north side of the property. The applicant is requesting the Board to waive the 20-foot landscape buffer requirement and instead allow for the landscape buffer to be to 15-feet wide. The applicant is proposing to install an 8-foot high wall along the project boundary and utilize existing trees within the buffer yard to meet the planting requirements per Section 7.7.F. "Minimum Buffer Standards" of the UDO. The applicant shows on the exhibit there are 15 existing trees (14 canopy and 1 non-canopy tree) located within the buffer as well as an existing 6-foot tall fence to remain in place between subject property and the adjacent residential use. The 20' buffer is required because the adjacent property is being used as a duplex (single-family residential). The applicant is requesting the reduction to the landscape buffer width as they have stated it not be possible for BTU to meet their required maintenance and operational electrical equipment safety clearances.



REGULATION: The ordinance requires a landscaped buffer to provide a visual barrier between different zoning districts and to help mitigate any negative impacts of adjacent land uses on developed or developing properties. A buffer should visibly separate one use from another and shield or block noise, glares, or other nuisances. Since the proposed use is for a utility with activities not contained within a building, this development is required to have a 6-foot tall privacy fence and 20-foot landscape buffer with plantings on the eastern boundary per UDO Section 6.4.AB “Utilities”. A buffer is not required adjacent to City of Bryan and other multi-family or commercial uses, and does not apply to the north, west and south sides. The planting requirements within the buffer includes both canopy and non-canopy trees, but may be reduced to 50% when a wall is provided.

BOARD AUTHORITY: UDO Section 7.7.H.3. “Appeals” of the UDO states that, "The Design Review Board may authorize on appeal alternative buffer standards for a specific property or a waiver to this Section when such standards or variance will not be contrary to the public interest where, owing to unique and special conditions not normally found in like areas, strict enforcement of the provisions of the ordinance by the Administrator would result in unnecessary hardship, and so that the spirit of this Section shall be observed and substantial justice done."

STAFF RECOMMENDATION: Staff recommends denial of this request. Requiring a larger buffer between the utility and the adjacent residential development would not negatively effect this development. Based on the proposal, while the existing substation is able to expand, it could be redesigned in order to provide the required area between these two uses. The purpose of the buffer is to not only provide a visual separation, but is also to help mitigate any negative impacts of adjacent land uses on existing or developing properties that are more intense. The applicant has proposed the buffer to be reduced to 15-feet, proposing to add a wall, keep the existing fence in place and utilize existing trees thus creating a visual barrier between the two uses. The existing trees within the buffer exceed the number of plantings required by Section 7.7.F. The reduced buffer may be injurious to the interest of adjacent landowners as the existing substation is proposed to double in size. Utilities are identified in the Specific Use Standards as needing to provide a 20’ buffer and reducing the physical distance between the existing residential use and the utility substation does not meet the intent of the buffer section of the UDO. There is a unique condition not normally found due to an existing utility facility located between existing developments that is proposing to expand to provide services. The proposed site plan for the BTU Shady Lane Substation will be designed to also include streetscaping along Cooner Street. As stated by the applicant a hardship exists that “without the additional five feet of space, it will not be possible for BTU to meet their required maintenance and operational electrical equipment safety clearances.” They have also indicated that “While designing the Project, every effort has been made to maximize the space available while meeting the goal of the expansion and meeting College Station landscape and ordinance requirements.”

SUPPORTING MATERIALS:

- 1. Applicant’s Supporting Information
- 2. Zoning Map
- 3. Landscape Buffer Appeal Exhibit
- 4. Site Plan (*in process*) (6/16/25 Submittal with updated landscape plan)



APPEAL/WAIVER APPLICATION SUPPORTING INFORMATION

AWV2025-000028

Name of Project: SEEKING A 15-FOOT LANDSCAPE BUFFER (AWV2025-000028)

Address: 111 COONER ST

Legal Description: COONER, BLOCK 1, LOT 6A (W HLF OF)

Applicant: Burns & McDonnell Engineering

Property Owner: BRYAN CITY OF - BTU

Current Zoning:

R-4 and GC

Applicable ordinance section being appealed/seeking waiver from:

Section 6.4.AB. of the UDP

The following specific alternative to, or waiver from, the ordinance is requested:

Reduction of the 20-foot setback to 15 feet

The unnecessary hardship(s) involved by meeting the provisions of the ordinance is/are:

Without the additional five feet of space, it will not be possible for BTU to meet their required maintenance and operational electrical equipment safety clearances. This presents a significant concern, as it directly impacts operator safety and the overall reliability of the electrical grid. The space between the distribution bays and the transformer riser structure is essential for BTU personnel to safely operate a telehandler, which is used to lift and relocate circuit breakers during routine maintenance. The inability to perform these tasks safely and efficiently could result in increased risk to both personnel and critical infrastructure.

The following alternatives to the requested appeal/waiver are possible:

While designing the Project, every effort has been made to maximize the space available while meeting the goal of the expansion and meeting College Station landscape and ordinance requirements. Further reduction of the usable space will render the expansion project unable to be build in a manner that will allow for safe operations and maintenance.

Substitution of building materials explanation:

N/A

Alternative materials on facade work on an existing building explanation:

N/A

Provide additional information for alternate colors or materials for a franchised or chain restaurant:

N/A

Facade articulation and/or roofline waiver:

N/A

Not financially feasible explanation:

Financial feasibility is not the issue. Safe operation and maintenance is the concern.

Not structurally feasible explanation:

Structural feasibility is not the issue. Safe operation and maintenance is the concern.



Bryan Texas Utilities Shady Lane Substation Expansion City of College Station Variance Request Statement of Justification

Bryan Texas Utilities (BTU) hereby requests to have their appeal on the buffer decision related to the Shady Lane Substation Project (Project) presented before the College Station Design Review Board. The request appeals the 20-foot side buffer decision and seeks to set the buffer at 15 feet. The setback buffer is governed by Section 6.4.AB. of the Unified Development Ordinance (UDO).

This project seeks to upgrade and expand the Shady Lane Substation to increase system capacity, enhance operational reliability, and ensure the substation can meet current and future electrical demand in the area. This upgrade to the Shady Lane serves the public interest due to the critical role this electrical system plays in grid operations between BTU and College Station. A failure at this substation would have consequences impacting the local CSU distribution network. Upgrading this substation is vital to enhancing its reliability and resilience, both of which are critical for maintaining continuous power delivery to residential, commercial, and public infrastructure customers.

The BTU Shady Lane substation has been in operation for more than 30 years at this location. The substation property is a 0.49-acre (combined) and is located on parcels identified as Property ID R20671 and R24313. The expansion properties are 0.58 acre (combined) and located at 111, 113, and 203 Cooner Street (Property IDs R24311, R95969, and R24314, respectively). The Project proposed to expand onto the three adjacent parcels due to the proximity of the existing infrastructure. Even with the use of the adjacent vacant parcels, the Project does not have the necessary space required to properly update and expand the substation and maintain a 20-foot buffer on the east side.

A. Substation Safety

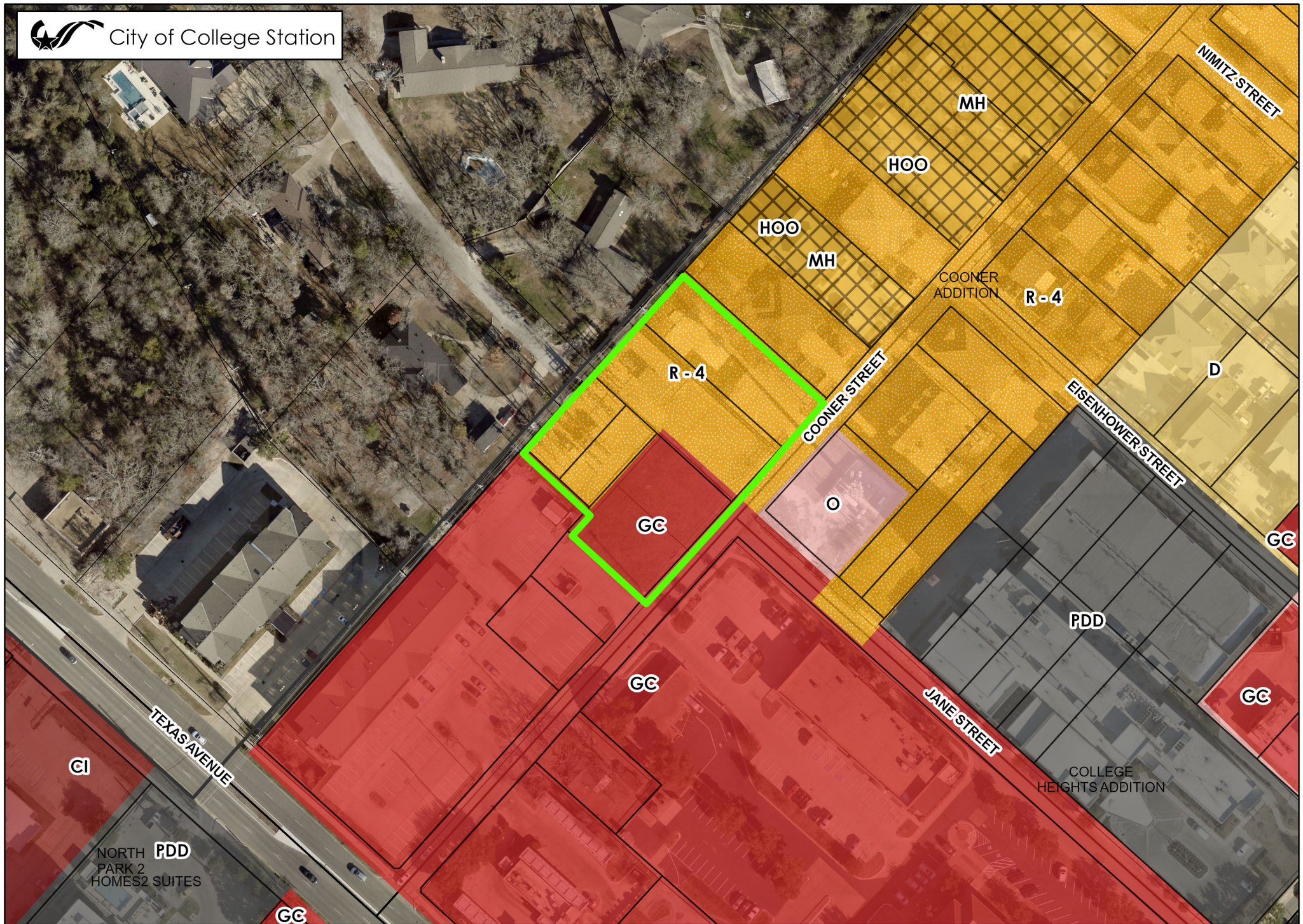
While designing the Project, every effort has been made to maximize the space available while meeting the goal of the expansion and meeting College Station landscape and ordinance requirements. Without the additional five feet of space, it will not be possible for BTU to meet their required maintenance and operational electrical equipment safety clearances. This presents a significant concern, as it directly impacts operator safety and the overall reliability of the electrical grid. The space between the distribution bays and the transformer riser structure is essential for BTU personnel to safely operate a telehandler, which is used to lift and relocate circuit breakers during routine maintenance. The inability to perform these tasks safely and efficiently could result in increased risk to both personnel and critical infrastructure.

B. Additional Screening and Vegetation

In a good faith effort to meet the College Station landscape and ordinance requirements, the Project's usable footprint was reduced to the maximum extent possible to allow for setbacks and landscaping. Multiple redesigns have been made to allow for landscaping to be implemented along the front setback of the substation to meet the requirements of Section 7.6 of the UDO. The Project is also preserving existing trees along the eastern boundary to provide natural screening of the substation from residential housing. Additionally, the Project has proposed the installation of an 8-foot-tall decorative fence in this location to further screen the substation from residential housing in this location. Section 7.7.F. of the UDO states that the buffer requirements are designed to permit and encourage flexibility in the widths of the buffer yards, the number of plants required in the buffer yard, and the use of opaque screens. It is believed that the current design of the Project, meets or exceeds the intention of the screening requirements in the Section 7.7.F.4. of the UDO.

C. Responses to Site Plan Review (SP2025-000012) Comments

It is understood the Site Plan Review (SP2025-000012) is not complete and the Site Plan has not been approved. The comments from the first review have been addressed and are reflected in the attached drawings and response letter. It is also understood that if plans change due to subsequent comments, this appeal may need to be re-submitted.



EXISTING ZONING

TREE SURVEY				
	SPECIES	SIZE	VALUE	TO BE REMOVED
1	MEXICAN PLUM	6" DBH	800	
2	HACKBERRY	30" DBH	1000	
3	HACKBERRY	7" DBH	800	
4	HACKBERRY	4" DBH		x
5	HACKBERRY	4" DBH		x
6	HACKBERRY	4" DBH	800	
7	HACKBERRY	4" DBH	800	
8	HACKBERRY	4" DBH		x
9	HACKBERRY	28" DBH	1000	
10	HACKBERRY	12" DBH	1000	
11	HACKBERRY	12" DBH	1000	
12	ASH	20" DBH	1000	
13	ELM	16" DBH	1000	
14	HACKBERRY	24" DBH	1000	
15	ELM	16" DBH		x
16	HACKBERRY	17" DBH	1000	
17	ELM	15" DBH	1000	
18	HACKBERRY	10" DBH	1000	
19	HACKBERRY	12" DBH	1000	
20	ELM	10" DBH		x
21	ELM	7" DBH		x
22	HACKBERRY	12" DBH		x
23	HACKBERRY	1" DBH		x
24	HACKBERRY	7" DBH		x
	TOTAL		14200	

T. DAVID CHINN
ZONED: RESIDENTIAL
NEIGHBORHOOD
CONSERVATION
PORTION OF LOT 66
& 71 BEVERLY
ESTATES 10173/108

EXISTING TREES SHALL
REMAIN AND BE PROTECTED
AS CONSTRUCTION AND
PROPERTY LINES ALLOW

SCOTT HENSLEY
ZONED: MULTI-FAMILY
LOT 10, BLOCK ONE
THE COONER ADDITION

N/F MALCOLM &
SHARONDA WILLIAMS
ZONED: RESIDENTIAL
NEIGHBORHOOD
CONSERVATION
LOT 70
BEVERLY ESTATES
98/420

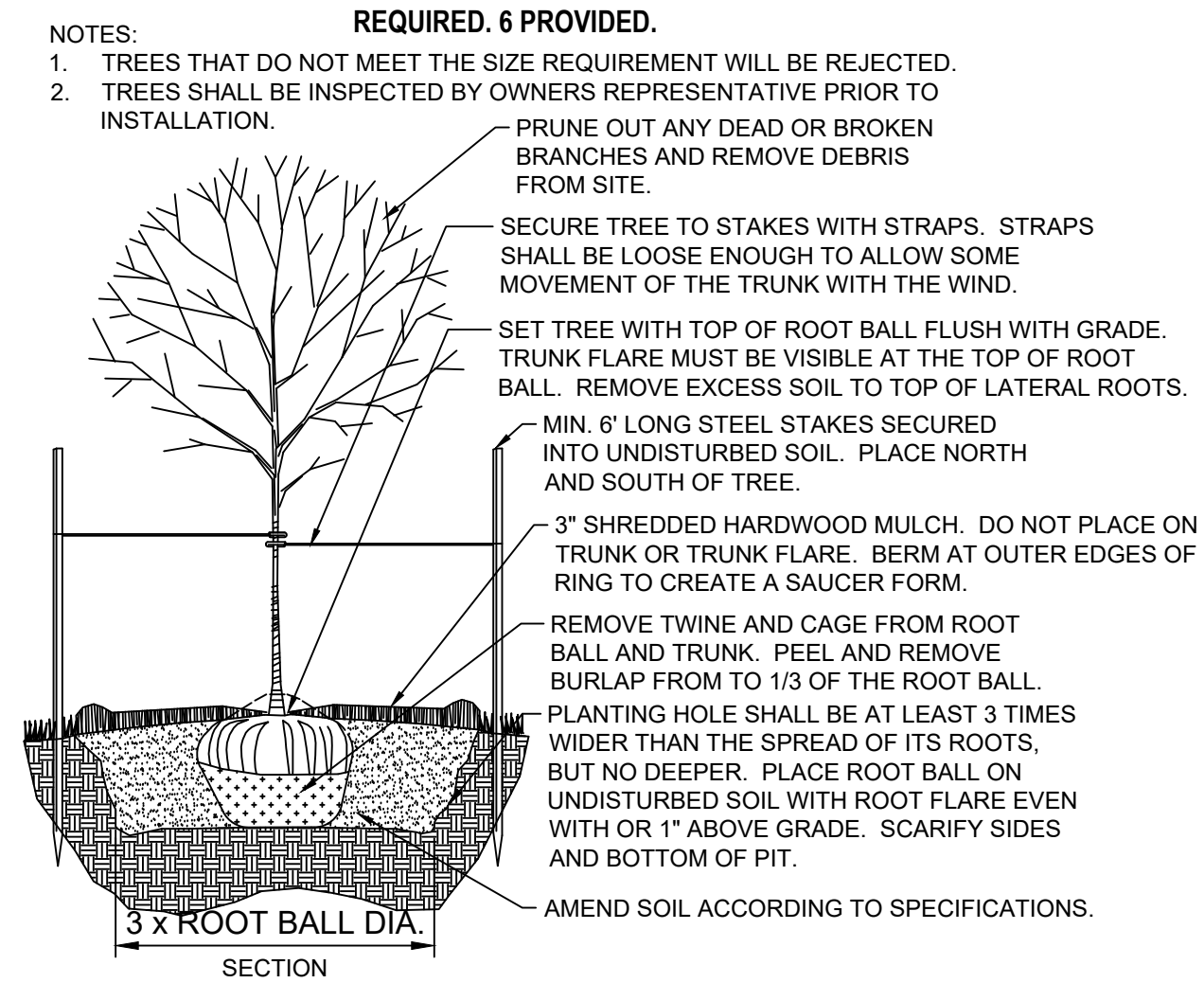
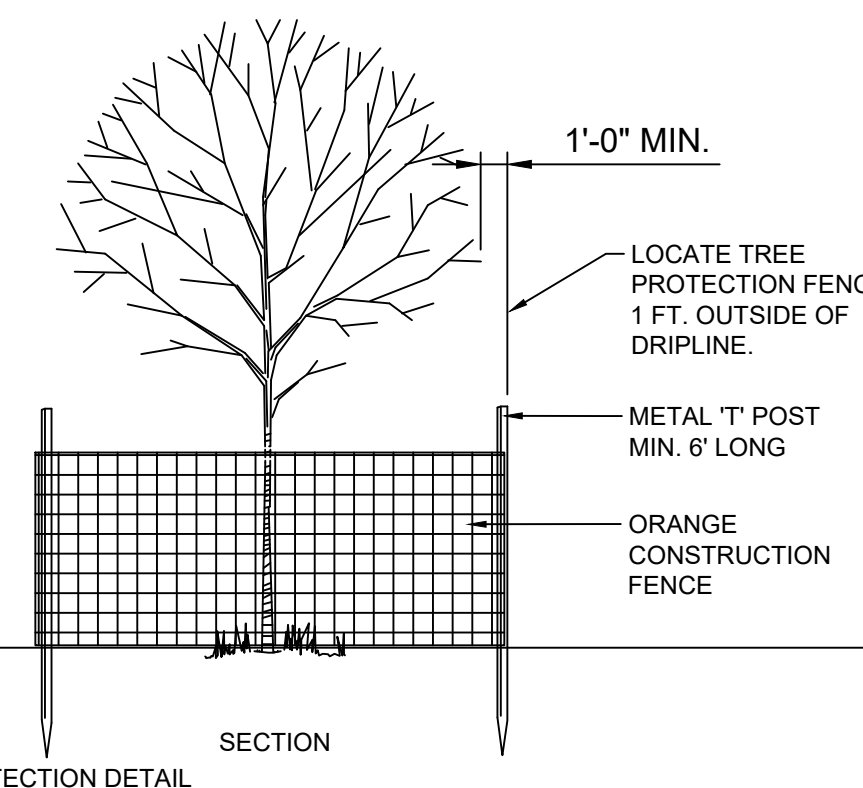
N/F DEMLA GROUP, LTD.
ZONED: GENERAL COMMERCIAL
LOT 1, BLOCK ONE
SPARTAN 8 SUBDIVISION
2017/241

GENERAL LOCATION OF CITY
OF COLLEGE STATION
WATER METER

PLANT SCHEDULE:

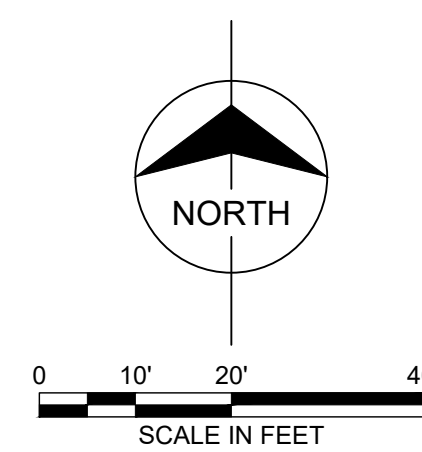
SHADE TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND	POINTS VALUE	POINTS
	4	TAXODIUM DISTICHUM	BALD CYPRESS	2.5"	B&B	225	900
	2	QUERCUS PHELLOW	WILLOW OAK	2.5"	B&B	225	450

- NOTES:
- CONSTRUCTION FENCE SHALL BE INSTALLED PRIOR TO CONSTRUCTION OPERATIONS
 - CONTRACTOR SHALL BE RESPONSIBLE FOR FENCE MAINTENANCE. REPAIR AND/OR REPLACE ALL SECTIONS DAMAGED DURING CONSTRUCTION OPERATIONS
 - CONTRACTOR SHALL BE RESPONSIBLE FOR HEALTH OF PROTECTED TREES THROUGHOUT THE CONSTRUCTION PERIOD. TREES SHOWING SIGNS OF STRESS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE IMMEDIATELY. ALL TREES THAT DIE DUE TO CONSTRUCTION OPERATIONS SHALL BE REPLACED AT THE CONTRACTORS EXPENSE. THE REPLACEMENT TREE SHALL BE OF COMPARABLE SIZE & SPECIES BASED ON NURSERY AVAILABILITY. CONTRACTOR SHALL SUBMIT REPLACEMENT TREES TO OWNERS REPRESENTATIVE FOR FINAL ACCEPTANCE PRIOR TO INSTALLATION.



LEGEND:

- PROPOSED SUBSTATION PAD
- EXISTING SUBSTATION PAD
- PROPOSED CONCRETE PAVEMENT
- PROPOSED SOD AREAS
- EXISTING TREE
- EXISTING DEMO TREE
- TREE PROTECTION



LANDSCAPE NOTES:

- LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
- CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK'.
- ALL PLANTING BEDS & NATIVE GRASS STANDS SHALL BE EDGED AS SHOWN IN PLAN.
- PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS ACCORDING TO PLANS.
- SHREDDED HARDWOOD MULCH, PER SPECIFICATIONS SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
- ALL TREES SHALL BE STAKED PER DETAIL.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT.
- THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING/SEEDING OPERATIONS.
- ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SODDED WITH TURF TYPE FESCUE. 100% SOD COVERAGE IS REQUIRED IN RIGHT-OF-WAY AND ADJACENT PROPERTY DISTURBED DURING CONSTRUCTION.
- ALL NEW PLANTING SHALL BE IRRIGATED BY A SYSTEM INSTALLED BY A CERTIFIED INSTALLER AND APPROVED BY THE CITY PRIOR TO THE ISSUE OF A CERTIFICATE OF OCCUPANCY. REFER TO SHEET 11-LND-02.
- TREE PROTECTION BARRICADES MUST BE IN PLACE PRIOR TO ANY DEVELOPMENT ACTIVITY AS WELL AS THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. BARRICADE FOR INDICATED TREES TO BE CONSTRUCTED WITH 48" HIGH ORANGE PLASTIC CONSTRUCTION NETTING AND SECURED TO STEEL T-POSTS.

LANDSCAPE REQUIREMENTS:

SITE AREA + STREETScape TOTAL		
SITE AREA REQUIRED	46,961 SF	30 POINTS/ 1,000 SF 1,409 POINTS
STREETSCAPE POINTS REQUIRED	191 LF	6 ADDITIONAL POINTS PER LF STREET 1,146 POINTS
TOTAL POINTS	2,555	MINIMUM REQUIRED
POINT CREDITS		
10% LA PREPARATION	255	
STREET TREE CREDITS	1,350	
REVISED TOTAL	1,605	
EXISTING TREES WITH BARRICADE (6)	14,200	SEE TABLE
SOD AT PERIMETER		
PROVIDED TOTAL	15,805	

SECTION 7.6.D.2 REQUIRES 1 CANOPY TREE PER 32' LF OF STREET FRONTAGE. 6 TREES REQUIRED. 6 PROVIDED.

- NOTES:
- TREES THAT DO NOT MEET THE SIZE REQUIREMENT WILL BE REJECTED.
 - TREES SHALL BE INSPECTED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.

- PRUNE OUT ANY DEAD OR BROKEN BRANCHES AND REMOVE DEBRIS FROM SITE.
- SECURE TREE TO STAKES WITH STRAPS. STRAPS SHALL BE LOOSE ENOUGH TO ALLOW SOME MOVEMENT OF THE TRUNK WITH THE WIND.
- SET TREE WITH TOP OF ROOT BALL FLUSH WITH GRADE. TRUNK FLARE MUST BE VISIBLE AT THE TOP OF ROOT BALL. REMOVE EXCESS SOIL TO TOP OF LATERAL ROOTS.
- MIN. 6" LONG STEEL STAKES SECURED INTO UNDISTURBED SOIL. PLACE NORTH AND SOUTH OF TREE.
- 3" SHREDDED HARDWOOD MULCH. DO NOT PLACE ON TRUNK OR TRUNK FLARE. BERM AT OUTER EDGES OF RING TO CREATE A SAUCER FORM.
- REMOVE TWINE AND CAGE FROM ROOT BALL AND TRUNK. PEEL AND REMOVE BURLAP FROM TO 1/3 OF THE ROOT BALL.
- PLANTING HOLE SHALL BE AT LEAST 3 TIMES WIDER THAN THE SPREAD OF ITS ROOTS, BUT NO DEEPER. PLACE ROOT BALL ON UNDISTURBED SOIL WITH ROOT FLARE EVEN WITH OR 1" ABOVE GRADE. SCARIFY SIDES AND BOTTOM OF PIT.
- AMEND SOIL ACCORDING TO SPECIFICATIONS.

no.	date	by	ckd	description
A	1/23/25	LH	BS	ISSUED FOR REVIEW

RELEASED FOR REVIEW ONLY BY BRITNEY SWARTZ, R.L.A.# 2845 ON 01/23/2025 AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

ISSUED FOR REVIEW

BURNS & MCDONNELL
Engineering License #F-845

date	01/23/25	detailed	L. HAY
designed	B. SWARTZ	checked	B. SWARTZ

BRYAN TEXAS UTILITIES

SHADY LANE SUBSTATION LANDSCAPE PLAN

project	155993	contract	-
drawing	11-LND-01	rev.	A
sheet	1	of	2 sheets
file	11-LND-01.DWG		

TREE SURVEY					
SPECIES	SIZE	TYPE	VALUE	TO BE REMOVED	
1	MEXICAN PLUM	6" DBH	NON-CANOPY	800	
2	HACKBERRY	30" DBH	CANOPY	1000	
3	HACKBERRY	7" DBH	CANOPY	800	
4	HACKBERRY	4" DBH	CANOPY		x
5	HACKBERRY	4" DBH	CANOPY		x
6	HACKBERRY	4" DBH	CANOPY	800	
7	HACKBERRY	4" DBH	CANOPY	800	
8	HACKBERRY	4" DBH	CANOPY		x
9	HACKBERRY	28" DBH	CANOPY	1000	
10	HACKBERRY	12" DBH	CANOPY	1000	
11	HACKBERRY	12" DBH	CANOPY	1000	
12	ASH	20" DBH	CANOPY	1000	
13	ELM	16" DBH	CANOPY	1000	
14	HACKBERRY	24" DBH	CANOPY	1000	
15	ELM	16" DBH	CANOPY		x
16	HACKBERRY	17" DBH	CANOPY	1000	
17	ELM	15" DBH	CANOPY	1000	
18	HACKBERRY	10" DBH	CANOPY	1000	
19	HACKBERRY	12" DBH	CANOPY	1000	
20	ELM	10" DBH	CANOPY		x
21	ELM	7" DBH	CANOPY		x
22	HACKBERRY	12" DBH	CANOPY		x
23	HACKBERRY	1" DBH	CANOPY		x
24	HACKBERRY	7" DBH	CANOPY		x
TOTAL			14200		

T. DAVID CHINN
ZONED: RESIDENTIAL
NEIGHBORHOOD
CONSERVATION
PORTION OF LOT 66
& 71 BEVERLY
ESTATES 10173/108

SCOTT HENSLEY
ZONED: MULTI-FAMILY
LOT 10, BLOCK ONE
THE COONER ADDITION

PROPOSED 8' SOLID WALL
N/F MALCOLM &
SHARONDA WILLIAMS
ZONED: RESIDENTIAL
NEIGHBORHOOD
CONSERVATION
LOT 70
BEVERLY ESTATES
98/420

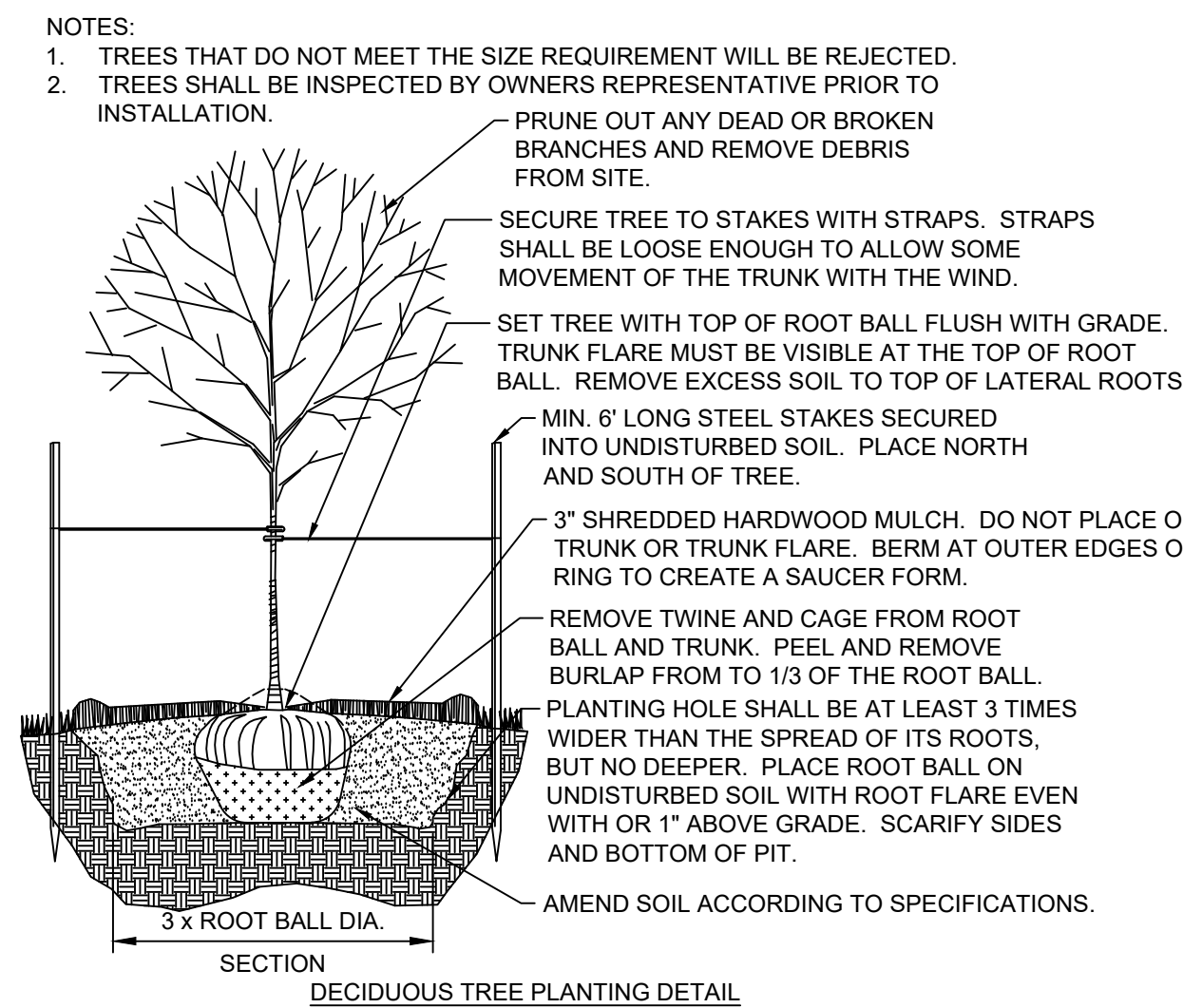
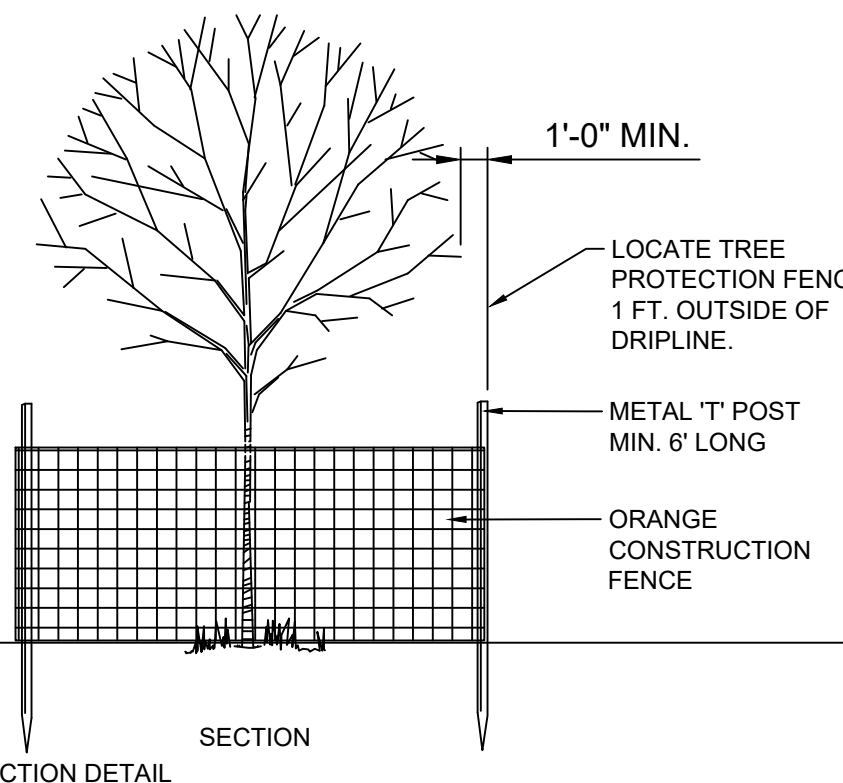
N/F DEMLA GROUP, LTD.
ZONED: GENERAL COMMERCIAL
LOT 1, BLOCK ONE
SPARTAN 8 SUBDIVISION
2017/241

GENERAL LOCATION OF CITY
OF COLLEGE STATION
WATER METER

PLANT SCHEDULE:

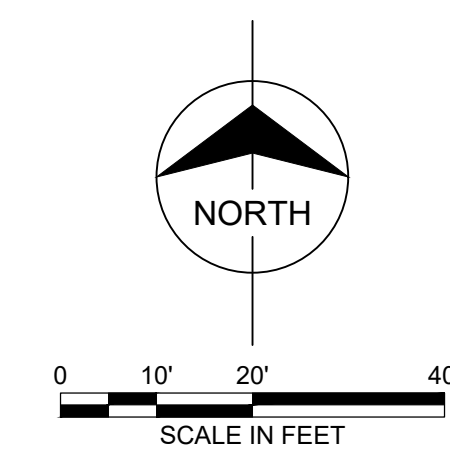
SHADE TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND	POINTS VALUE	POINTS
	4	TAXODIUM DISTICHUM	BALD CYPRESS	3.5"	B&B	450	1,800
	2	QUERCUS PHELLOW	WILLOW OAK	3.5"	B&B	450	900

- NOTES:
- CONSTRUCTION FENCE SHALL BE INSTALLED PRIOR TO CONSTRUCTION OPERATIONS
 - CONTRACTOR SHALL BE RESPONSIBLE FOR FENCE MAINTENANCE. REPAIR AND/OR REPLACE ALL SECTIONS DAMAGED DURING CONSTRUCTION OPERATIONS
 - CONTRACTOR SHALL BE RESPONSIBLE FOR HEALTH OF PROTECTED TREES THROUGHOUT THE CONSTRUCTION PERIOD. TREES SHOWING SIGNS OF STRESS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE IMMEDIATELY. ALL TREES THAT DIE DUE TO CONSTRUCTION OPERATIONS SHALL BE REPLACED AT THE CONTRACTORS EXPENSE. THE REPLACEMENT TREE SHALL BE OF COMPARABLE SIZE & SPECIES BASED ON NURSERY AVAILABILITY. CONTRACTOR SHALL SUBMIT REPLACEMENT TREES TO OWNERS REPRESENTATIVE FOR FINAL ACCEPTANCE PRIOR TO INSTALLATION.



LEGEND:

- PROPOSED SUBSTATION PAD
- EXISTING SUBSTATION PAD
- PROPOSED CONCRETE PAVEMENT
- PROPOSED SOD AREAS
- EXISTING TREE
- EXISTING DEMO TREE
- TREE PROTECTION



LANDSCAPE NOTES:

- LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
- CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK'.
- ALL PLANTING BEDS & NATIVE GRASS STANDS SHALL BE EDGED AS SHOWN IN PLAN.
- PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS ACCORDING TO PLANS.
- SHREDDED HARDWOOD MULCH, PER SPECIFICATIONS SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
- ALL TREES SHALL BE STAKED PER DETAIL.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT.
- THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING/SEEDING OPERATIONS.
- ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SODDED WITH TURF TYPE FESCUE. 100% SOD COVERAGE IS REQUIRED IN RIGHT-OF-WAY AND ADJACENT PROPERTY DISTURBED DURING CONSTRUCTION.
- ALL NEW PLANTING SHALL BE IRRIGATED BY A SYSTEM INSTALLED BY A CERTIFIED INSTALLER AND APPROVED BY THE CITY PRIOR TO THE ISSUE OF A CERTIFICATE OF OCCUPANCY. REFER TO SHEET 11-LND-02.
- TREE PROTECTION BARRICADES MUST BE IN PLACE PRIOR TO ANY DEVELOPMENT ACTIVITY AS WELL AS THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. BARRICADE FOR INDICATED TREES TO BE CONSTRUCTED WITH 48" HIGH ORANGE PLASTIC CONSTRUCTION NETTING AND SECURED TO STEEL T-POSTS.

LANDSCAPE REQUIREMENTS:

STREETSCAPE:
(261 LF - 70 LF=191 LF) 191 LF/32= 6 CANOPY TREES PER SECTION 7.6.D.2
6 CANOPY TREES X 191 = 1,146 POINTS
POINTS PER PROJECT AREA:
46,961 SF OF SITE AREA
46,961/1000=46.91
46.91 X 30 = 1409 POINTS
TOTAL POINTS REQUIRED: 2,555
10% LA PREPARATION 255
(6) 3.5" NATIVE CANOPY TREES (6x450) 2,700
TOTAL POINTS PROPOSED 2,952

BUFFER YARD 188 LF.
(188/15)= 12.53 NON CANOPY TREES + (181/25) = 8 CANOPY TREES
SOLID WALL REDUCE BY 50%
REQUIRED: 7 NON CANOPY TREES + 4 CANOPY TREES
PROPOSED: (14) EXISTING CANOPY TREES + (1) NON CANOPY TREE, SEE TABLE THIS SHEET.
SOD AT PERIMETER

AN APPEAL FOR THE BUFFER YARD REQUIREMENTS HAS BEEN APPROVED BY THE DESIGN BOARD ON "_____".

NOTES:

- TREES THAT DO NOT MEET THE SIZE REQUIREMENT WILL BE REJECTED.
- TREES SHALL BE INSPECTED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
 - PRUNE OUT ANY DEAD OR BROKEN BRANCHES AND REMOVE DEBRIS FROM SITE.
 - SECURE TREE TO STAKES WITH STRAPS. STRAPS SHALL BE LOOSE ENOUGH TO ALLOW SOME MOVEMENT OF THE TRUNK WITH THE WIND.
 - SET TREE WITH TOP OF ROOT BALL FLUSH WITH GRADE. TRUNK FLARE MUST BE VISIBLE AT THE TOP OF ROOT BALL. REMOVE EXCESS SOIL TO TOP OF LATERAL ROOTS.
 - MIN 6" LONG STEEL STAKES SECURED INTO UNDISTURBED SOIL. PLACE NORTH AND SOUTH OF TREE.
 - 3" SHREDDED HARDWOOD MULCH. DO NOT PLACE ON TRUNK OR TRUNK FLARE. BERM AT OUTER EDGES OF RING TO CREATE A SAUCER FORM.
 - REMOVE TWINE AND CAGE FROM ROOT BALL AND TRUNK. PEEL AND REMOVE BURLAP FROM TO 1/3 OF THE ROOT BALL.
 - PLANTING HOLE SHALL BE AT LEAST 3 TIMES WIDER THAN THE SPREAD OF ITS ROOTS, BUT NO DEEPER. PLACE ROOT BALL ON UNDISTURBED SOIL WITH ROOT FLARE EVEN WITH OR 1" ABOVE GRADE. SCARIFY SIDES AND BOTTOM OF PIT.
 - AMEND SOIL ACCORDING TO SPECIFICATIONS.

no.	date	by	ckd	description
A	1/23/25	LH	BS	ISSUED FOR REVIEW
B	5/28/25	LH	BS	RE-ISSUED FOR REVIEW
C	6/10/25	LH	BS	RE-ISSUED FOR REVIEW



RELEASED FOR REVIEW ONLY BY BRITNEY SWARTZ, R.L.A.# 2845 ON 06/10/2025 AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

ISSUED FOR REVIEW

BURNS & MCDONNELL
Engineering License #F-845

date	06/10/25	detailed	L. HAY
designed	B. SWARTZ	checked	B. SWARTZ

BRYAN TEXAS UTILITIES




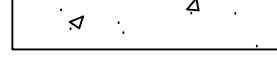
SHADY LANE SUBSTATION LANDSCAPE PLAN

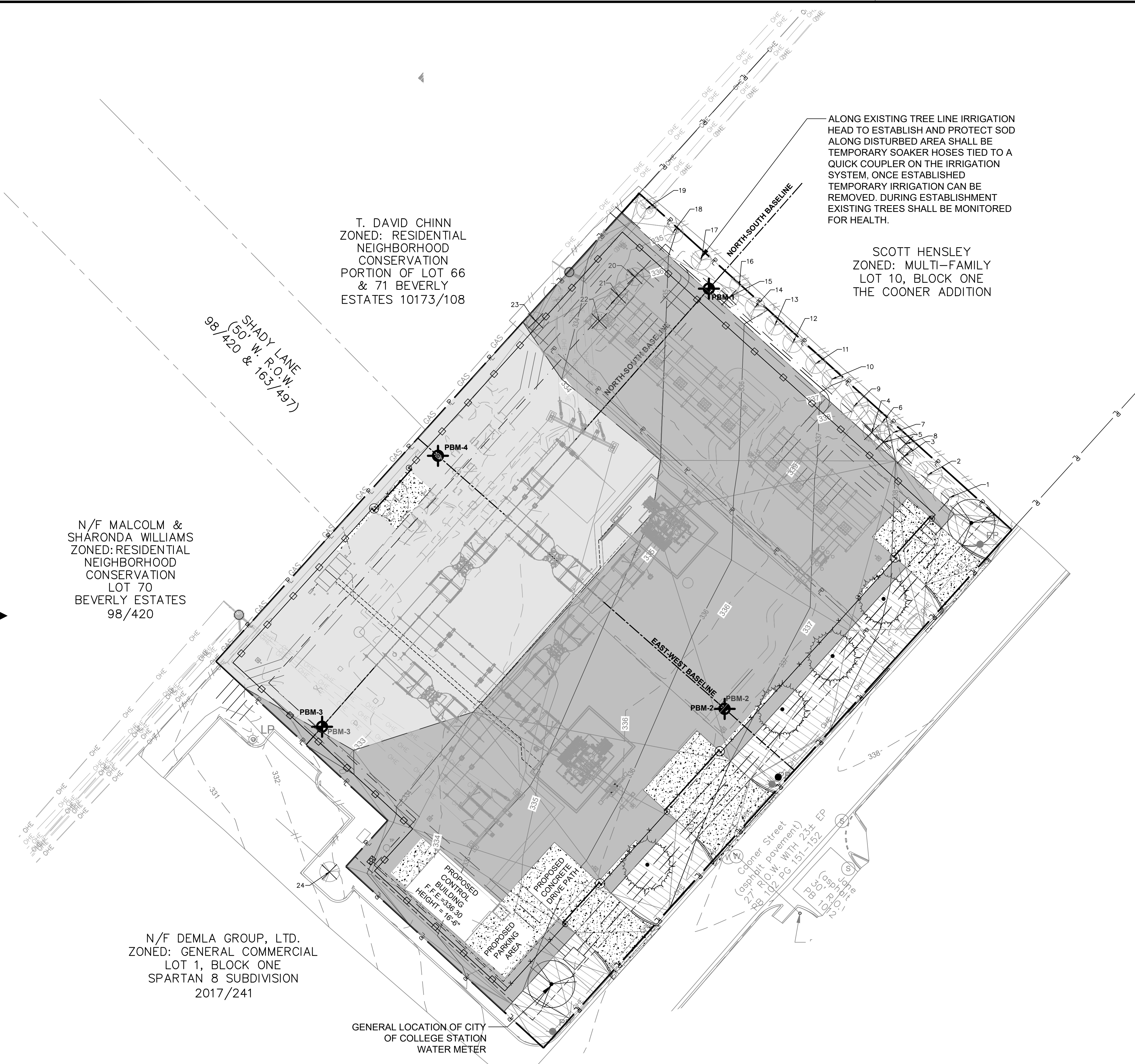
project	155993	contract	-
drawing	11-LND-01	rev.	C
sheet	1	of	2 sheets
file	11-LND-01.DWG		

IRRIGATION NOTES:

- THIS DRAWING IS FOR DIAGRAMMATIC PURPOSES ONLY. DESIGN LAYOUT OF PIPES & EQUIPMENT SHALL BE PROVIDED FOR APPROVAL FROM SHOP DRAWINGS SUBMITTED BY THE IRRIGATION CONTRACTOR.
- IRRIGATION CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UTILITIES AND MAKING NECESSARY ADJUSTMENTS TO THE IRRIGATION SYSTEM TO ACCOMMODATE THE INFRASTRUCTURE.
- ALL PIPE, EQUIPMENT, AND ACCESSORIES SHALL FOLLOW SPECIFICATION 328400.
- IRRIGATION CONTRACTOR SHALL COORDINATE SLEEVE INSTALLATION TO OCCUR PRIOR TO CONSTRUCTION OF PAVEMENT, WALL, OR OTHER SURFACE IMPROVEMENTS.
- IRRIGATION CONTRACTOR SHALL DESIGN AND PROVIDE A WORKING IRRIGATION SYSTEM BASED UPON THE DRAWING AND SPECIFICATIONS DOCUMENTED. SYSTEM SHALL BE COMPLETE IN EVERY RESPECT AND READY FOR OPERATION AS SATISFACTORY TO CONTRACT.
- IRRIGATION PIPING FLOW VELOCITY SHALL NOT EXCEED 5 FEET PER SECOND.
- IRRIGATION SYSTEM STATIC PRESSURE RANGE SHALL NOT VARY BY MORE THAN 10%.
- IRRIGATION CONTRACTOR SHALL DESIGN SYSTEM LATERAL PIPING TO LIMIT PRESSURE DROPS TO LESS THAN 20% OF THE AVERAGE SPRINKLER OPERATING PRESSURE.
- IRRIGATION CONTRACTOR SHALL INSTALL HEADS AND NOZZLE TYPES OF THE SAME MANUFACTURER AND PRESSURE RATING WITHIN THE SAME IRRIGATION ZONE.
- IRRIGATION CONTRACTOR SHALL ZONE THE IRRIGATION SYSTEM ACCORDING TO MICROCLIMATES AND PLANT WATER REQUIREMENTS. ZONE TURF, TREE AND PLANT BED AREAS SEPARATELY.
- DESIGN IRRIGATION SYSTEMS TO AVOID OVER SPRAY, AVOID SPRAY BLOCKAGE FROM ADJACENT ABOVE GROUND UTILITIES AND AVOID MISTING FROM EXCESSIVE PRESSURE.
- IRRIGATION CONTRACTOR SHALL DESIGN ALL SPRINKLER LAYOUTS FOR OVERLAPPING HEAD TO HEAD COVERAGE. DESIGN ALL SPRINKLER LAYOUTS AT 45% OF MANUFACTURE DIAMETER.
- IRRIGATION CONTRACTOR SHALL MODIFY EXISTING SPRINKLER HEADS & NOZZELS TO AVOID OVERSPRAY ONTO NEW CONSTRUCTION. REPOSITION EXISTING HEADS AS NECESSARY TO ACHIEVE HEAD TO HEAD COVERAGE.
- IRRIGATION CONTRACTOR SHALL DESIGN THE IRRIGATION SYSTEM SO THAT PRECIPITATION RATES DO NOT EXCEED INFILTRATION RATES.
- IRRIGATION CONTRACTOR TO PROVIDE A MINIMUM OF TWO SPARE CONTROL WIRES TO ALL REMOTE MAINLINE LEGS.
- IRRIGATION CONTRACTOR SHALL DESIGN MAINLINE FLOW BASED UPON THE LARGEST ZONE GPM COMBINED WITH A SINGLE QUICK COUPLER AT 20 GPM. DESIGN ZONES FOR FULL RATED WORKING PRESSURE FOR THE SELECTED WATER DELIVERY MEDIA WITH AT LEAST ONE QUICK COUPLER AT 20 GPM OPERATING SIMULTANEOUSLY.
- LOCATE VALVE BOXES, VALVES AND QUICK COUPLER VALVES IN BEDS AND TURF AREAS AT LEAST 36 INCHES FROM HARDSCAPE EDGES.
- IRRIGATION SYSTEM SHALL BE PROTECTED BY A REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE INSTALLED PER CITY ORDINANCE 2394.
- ALL BACKFLOW DEVICES SHALL BE INSTALLED AND TESTED UPON INSTALLATION PER CITY ORDINANCE 2394.
- ALL NEW PLANTING SHALL BE IRRIGATED BY A SYSTEM INSTALLED BY A CERTIFIED INSTALLER AND APPROVED BY THE CITY PRIOR TO THE ISSUE OF CERTIFICATE OF OCCUPANCY.
- IRRIGATION CONTRACTOR SHALL DOCUMENT FINAL LAYOUT OF BOTH NEW AND EXISTING IRRIGATION SYSTEMS IN AN AS-BUILT DRAWING AND SUBMIT TO OWNER FOR FINAL RECORD.
- DRAWINGS AND SPECIFICATIONS DO NOT INDICATE OR DESCRIBE TOTAL WORK REQUIRED FOR COMPLETION OF WORK AND MAY NOT COVER SOME CONDITIONS WHICH MAY BE REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A WORKING IRRIGATION SYSTEM TO SUSTAIN PLANT LIFE PER SITE CONDITIONS.
- TO ENSURE EFFICIENT WATER USE AND PROMOTE SUSTAINABILITY, IRRIGATION SYSTEM AND COMPONENTS MUST BE WATERSENSE LABELED PRODUCTS. THIS INCLUDES, BUT IT NOT LIMITED TO, IRRIGATION CONTROLLERS, SPRAY SPRINKLER BODIES, AND SOIL MOISTURE SENSORS.

LEGEND:

-  AREAS TO BE IRRIGATED
-  PROPOSED SUBSTATION PAD
-  EXISTING SUBSTATION PAD (TO BE RESTORED TO FULL AGGREGATE SECTION AFTER FINAL CONSTRUCTION PHASE)
-  PROPOSED CONCRETE PAVEMENT



ALONG EXISTING TREE LINE IRRIGATION HEAD TO ESTABLISH AND PROTECT SOD ALONG DISTURBED AREA SHALL BE TEMPORARY SOAKER HOSES TIED TO A QUICK COUPLER ON THE IRRIGATION SYSTEM. ONCE ESTABLISHED TEMPORARY IRRIGATION CAN BE REMOVED. DURING ESTABLISHMENT EXISTING TREES SHALL BE MONITORED FOR HEALTH.

SCOTT HENSLEY ZONED: MULTI-FAMILY LOT 10, BLOCK ONE THE COONER ADDITION

T. DAVID CHINN ZONED: RESIDENTIAL NEIGHBORHOOD CONSERVATION PORTION OF LOT 66 & 71 BEVERLY ESTATES 10173/108

N/F MALCOLM & SHARONDA WILLIAMS ZONED: RESIDENTIAL NEIGHBORHOOD CONSERVATION LOT 70 BEVERLY ESTATES 98/420

N/F DEMLA GROUP, LTD. ZONED: GENERAL COMMERCIAL LOT 1, BLOCK ONE SPARTAN 8 SUBDIVISION 2017/241

GENERAL LOCATION OF CITY OF COLLEGE STATION WATER METER

no.	date	by	ckd	description
A	1/23/25	LH	BS	ISSUED FOR REVIEW
B	6/10/25	LH	BS	RE-ISSUED FOR REVIEW



RELEASED FOR REVIEW ONLY BY BRITNEY SWARTZ, R.L.# 2845 ON 06/10/2025 AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

ISSUED FOR REVIEW

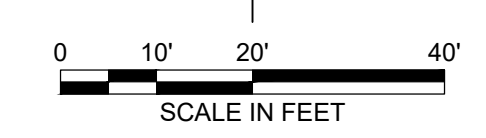
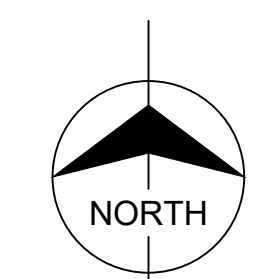


date	06/10/25	detailed	L. HAY
designed	B. SWARTZ	checked	B. SWARTZ

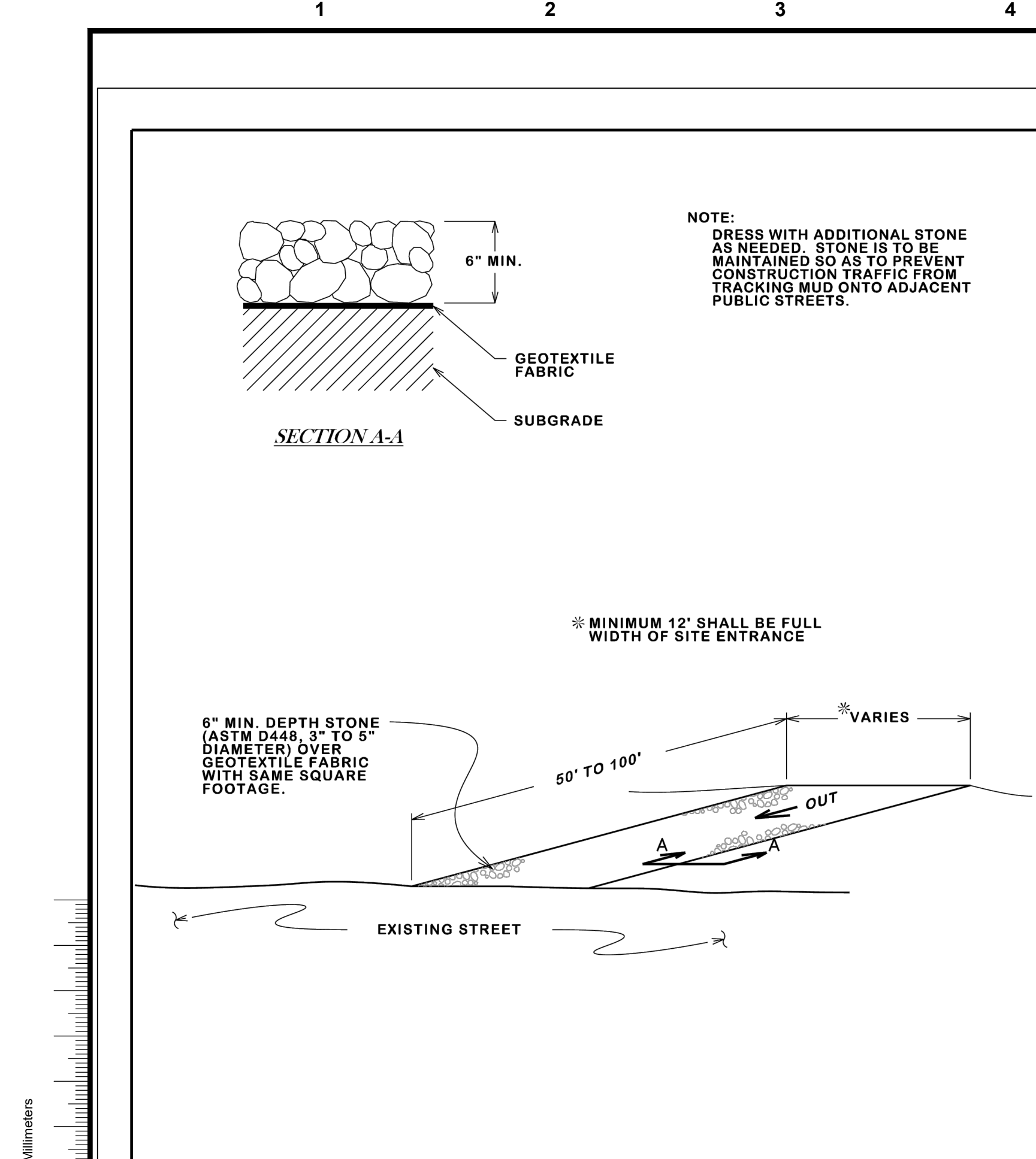
BRYAN TEXAS UTILITIES

SHADY LANE SUBSTATION IRRIGATION COVERAGE PLAN

project	155993	contract	-
drawing	11-LND-02	rev.	B
sheet	2	of	2 sheets
file	11-LND-01.DWG		



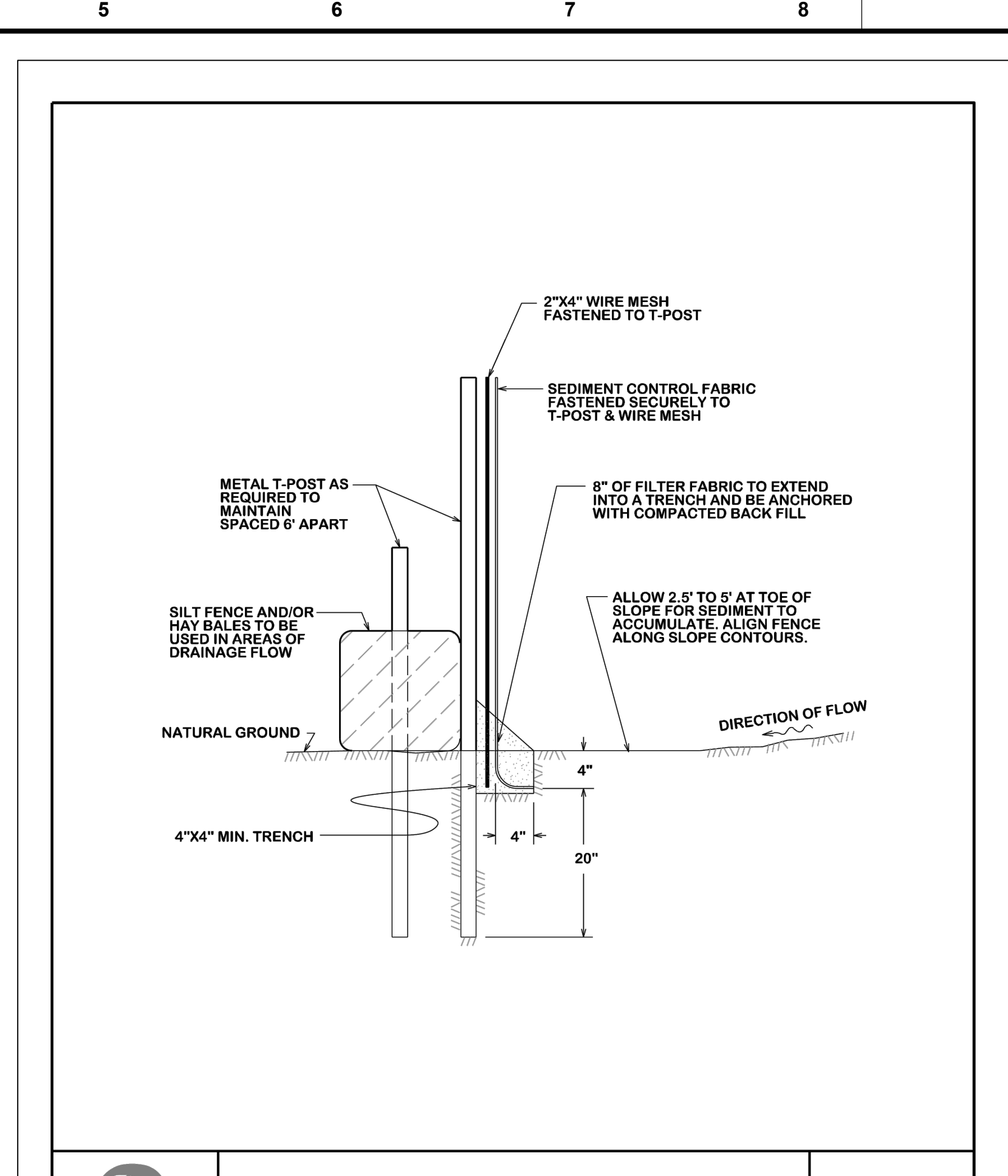
Scale For Microfilming
Inches
Millimeters



CONSTRUCTION EXIT SILT CONTROL

DATE: **AUG. 2012** | B/C'S UNIFIED STANDARD DETAIL | DETAIL NO. **SWPP1-02**

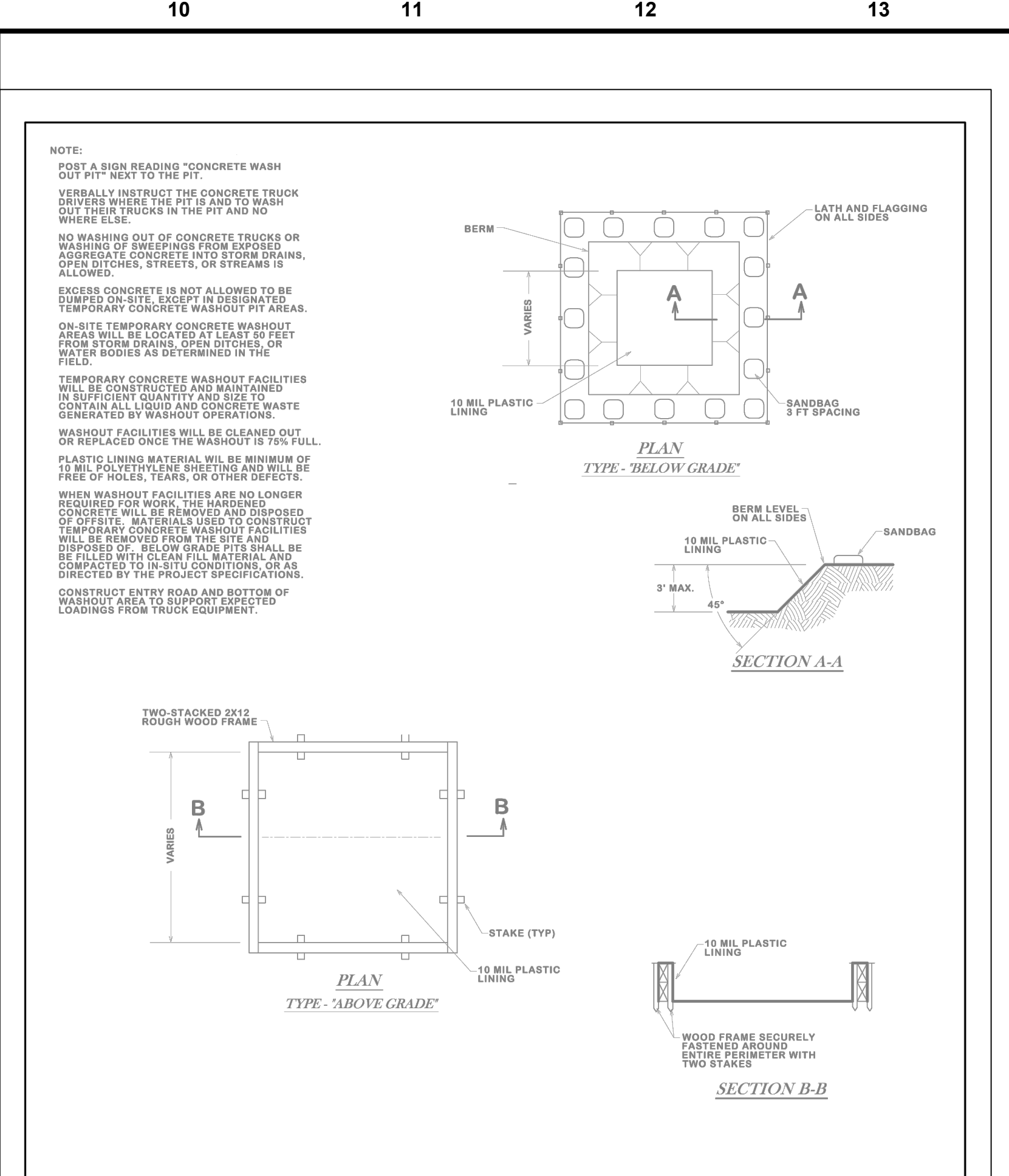
CITY OF BRYAN | CITY OF COLLEGE STATION



SILT FENCE ASSEMBLY

DATE: **AUG. 2012** | B/C'S UNIFIED STANDARD DETAIL | DETAIL NO. **SWPP1-03**

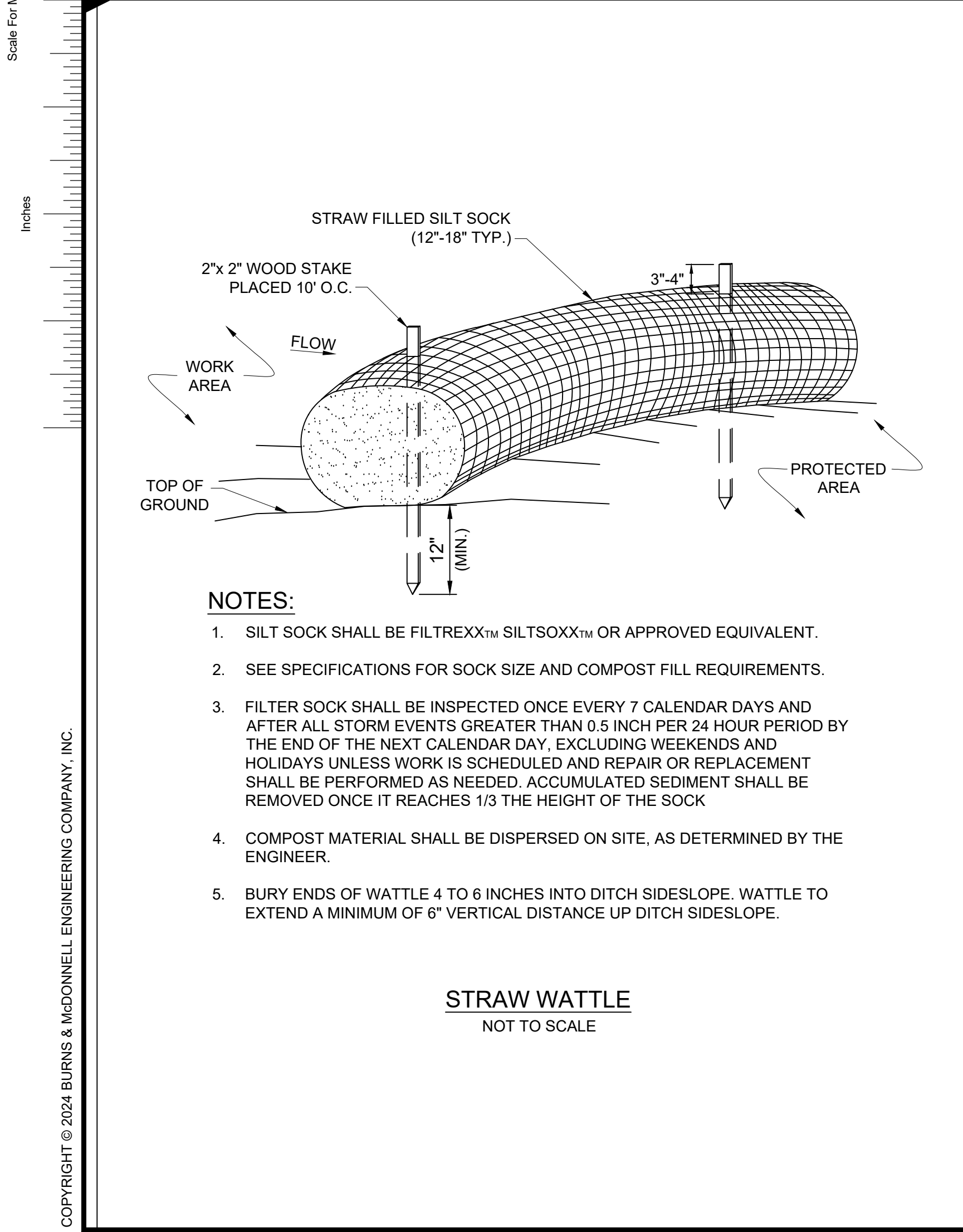
CITY OF BRYAN | CITY OF COLLEGE STATION



CONCRETE WASHOUT

DATE: **DECEMBER 2020** | B/C'S UNIFIED STANDARD DETAIL | DETAIL NO. **SWPP1-04**

CITY OF BRYAN | CITY OF COLLEGE STATION



- NOTES:**
- SILT SOCK SHALL BE FILTREXX™ SILT SOCK™ OR APPROVED EQUIVALENT.
 - SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL REQUIREMENTS.
 - FILTER SOCK SHALL BE INSPECTED ONCE EVERY 7 CALENDAR DAYS AND AFTER ALL STORM EVENTS GREATER THAN 0.5 INCH PER 24 HOUR PERIOD BY THE END OF THE NEXT CALENDAR DAY, EXCLUDING WEEKENDS AND HOLIDAYS UNLESS WORK IS SCHEDULED AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED. ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE IT REACHES 1/3 THE HEIGHT OF THE SOCK
 - COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
 - BURY ENDS OF WATTLE 4 TO 6 INCHES INTO DITCH SIDESLOPE. WATTLE TO EXTEND A MINIMUM OF 6\"

STRAW WATTLE
NOT TO SCALE

- REFERENCES:**
- 11-CIV-02 DEMO PLAN - PHASE 1
 - 11-CIV-03 EROSION CONTROL PLAN - PHASE 1
 - 11-CIV-05 DEMO PLAN - PHASE 2
 - 11-CIV-06 SITE PLAN
 - 11-CIV-07 GRADING PLAN
 - 11-CIV-08 GRADING SECTIONS
 - 11-CIV-09 EROSION CONTROL PLAN - PHASE 2
 - 11-CIV-10 CIVIL DETAILS
 - 11-CIV-11 FENCE DETAILS
 - 11-CIV-12 FENCE DETAILS
 - 11-CIV-13 OIL CONTAINMENT & CABLE TRENCH DETAILS
 - 11-CIV-14 TRAFFIC CONTROL PLAN
 - 11-CIV-15 TRAFFIC CONTROL DETAILS

no.	date	by	ckd	description
A	5/1/23	JJR	MJB	ISSUED FOR PERMITTING
B	7/28/23	JJR	NS	ISSUED FOR REVIEW
C	11/20/23	JJR	NS	ISSUED FOR REVIEW
D	07/17/24	JJR	NS	ISSUED FOR REVIEW
E	10/30/24	JJR	NS	ISSUED FOR REVIEW
F	4/4/25	JJR	CGM	ISSUED FOR REVIEW

RELEASED FOR REVIEW ONLY BY JASON RINGER, P.E. #136870 ON 4/4/2025 AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

ISSUED FOR REVIEW

BURNS & MCDONNELL
ENGINEERING LICENSE #F-845

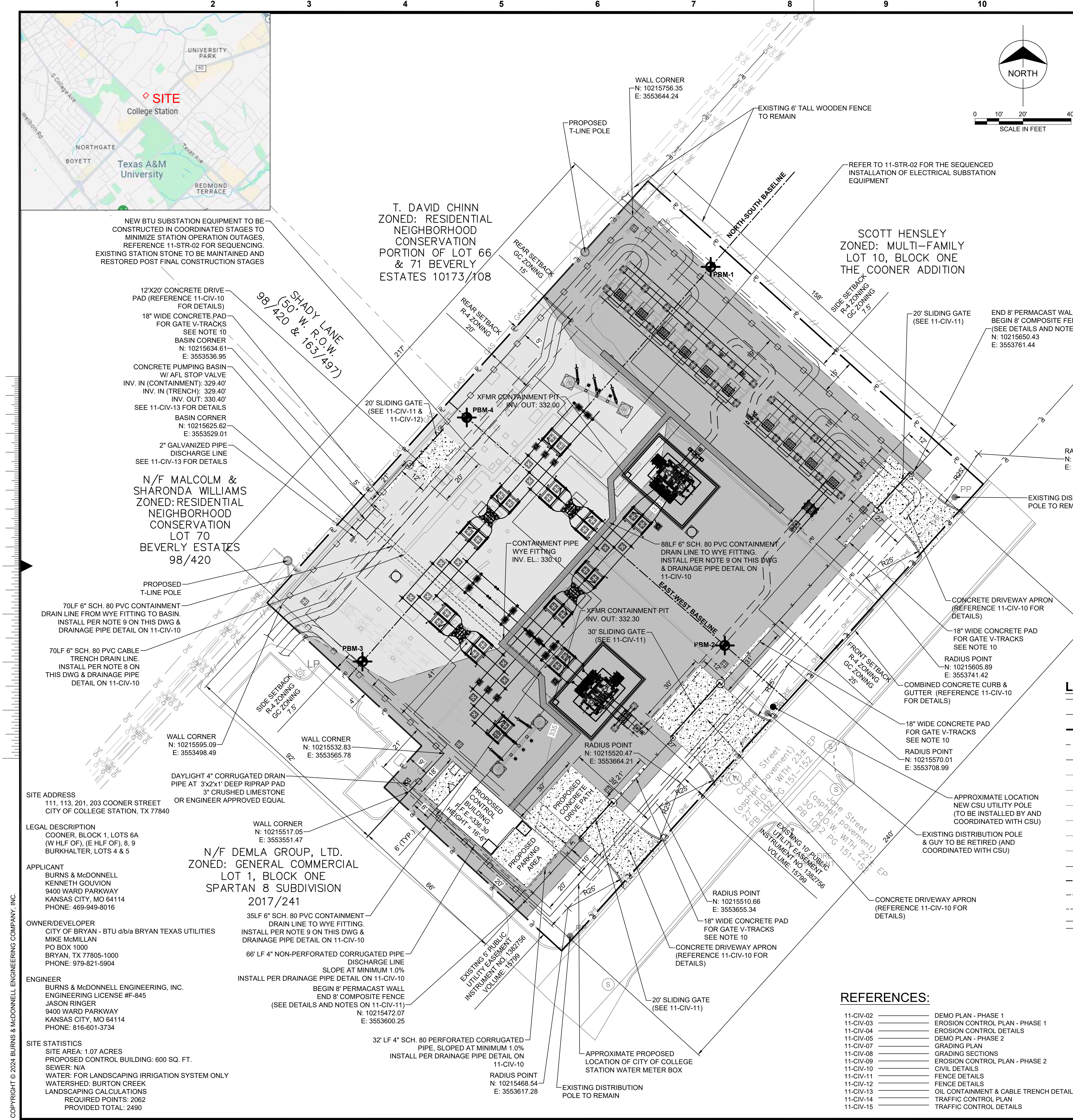
date	10/30/24	detailed	J. RINGER
designed	J. RINGER	checked	M. BLAKE

BRYAN TEXAS UTILITIES

SHADY LANE SUBSTATION
EROSION CONTROL DETAILS

project	155993	contract	-
drawing	11-CIV-04	rev.	F
sheet	3	of	14 sheets
file	11-CIV-04.DWG		

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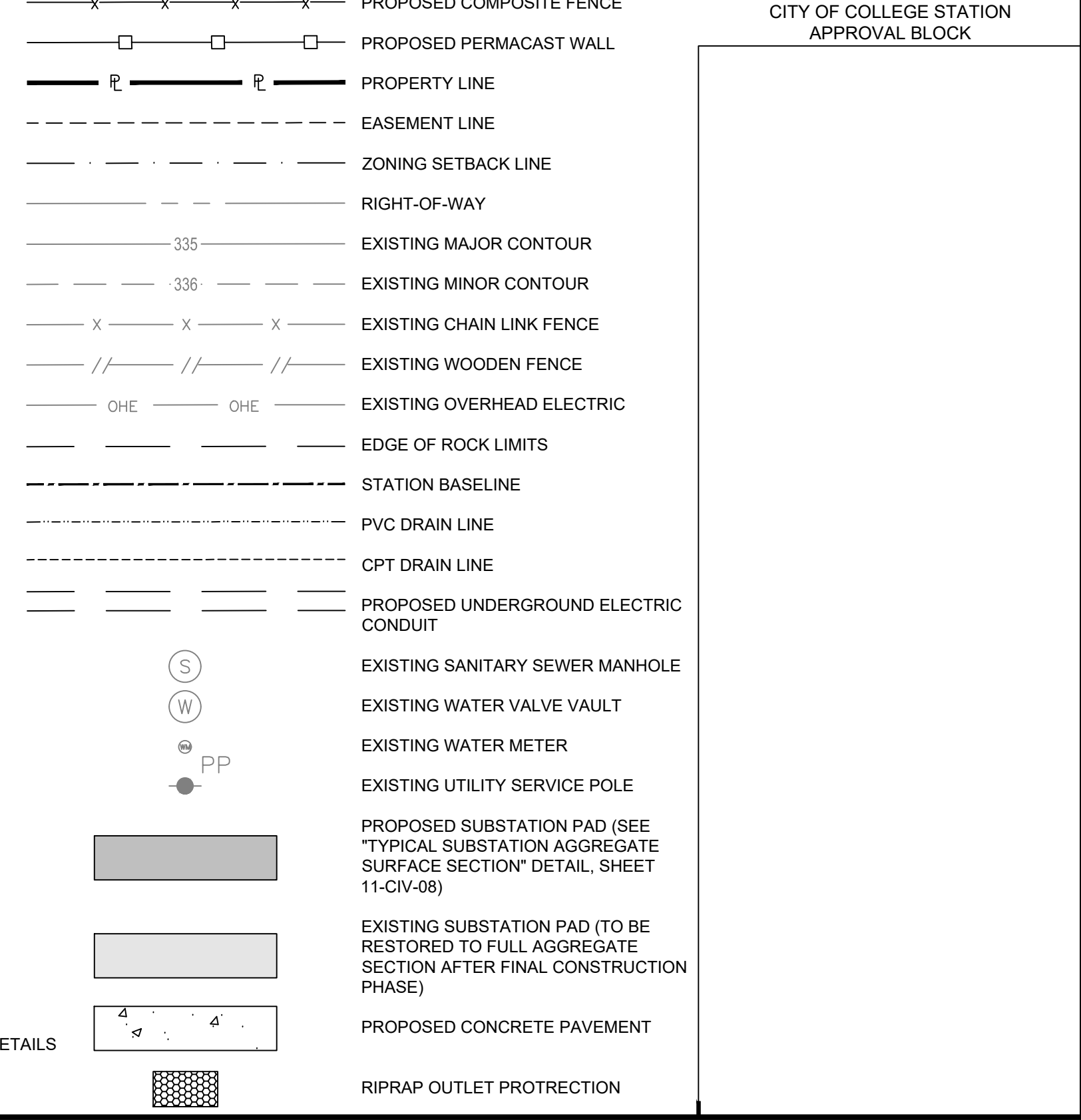
NOTES:

- HORIZONTAL DATUM: TEXAS STATE PLANE COORDINATE SYSTEM (CENTRAL ZONE) NAD83 (FT). VERTICAL DATUM: NAVD88 (FT).
- CONTRACTOR TO PROVIDE FOUR (4) BERNSTEN MODEL G136 MONUMENTS 36" LONG OR ENGINEER APPROVED EQUIVALENT IN ACCORDANCE WITH STATE OF TEXAS SURVEYING CODES AND STANDARDS AND PROJECT SPECIFICATIONS. MONUMENT CAPS SHALL BE MARKED WITH AN "X". SET MONUMENTS AFTER FINAL GRADING IS COMPLETE, AND SHOULD BE SET BY AN RPLS REGISTERED IN TEXAS. BENCHMARK ELEVATIONS SHALL BE WITHIN 0.10 FEET OF FINAL GRADE. PER VERTICAL DATUM: NAVD88 (FT). RECORD BENCH MARK ELEVATIONS AND SUBMIT TO OWNER FOR RECORD.
- THE PURPOSE OF THIS PLAN IS TO DEPICT PROPOSED SITE WORK ONLY. ELECTRICAL SUBSTATION LAYOUT AND COMPONENTS SHOWN ARE FOR REFERENCE ONLY.
- THIS PLAN DOES NOT DEPICT EXISTING SUBSURFACE UTILITY DATA. CALL 811 PRIOR TO CONSTRUCTION ACTIVITIES.
- CRUSHED STONE SURFACING SHALL BE PLACED AS INDICATED AND ACCORDING TO BCS UNITED SPECIFICATIONS, SECTION 32 05 16, AGGREGATE FOR SURFACE TREATMENT, AND BTU SPECIFICATIONS, SECTION 02300 (SEE DETAIL "TYPICAL SUBSTATION AGGREGATE SURFACE SECTION" AND "TYPICAL ACCESS ROAD CROSS SECTION", DRAWING 11-CIV-08).
- EARTHWORK AND FINAL SURFACING OVER THE SITE SHALL CONSIST OF COMPACTED SUBGRADE TO REACH THE NEW FINAL ELEVATIONS. 12 INCHES OF TRU-BLN (OR LIME STABILIZATION BASED ON GEOTECH RECOMMENDATION), 6 INCHES OF TXDOT FLEXIBLE BASE, AND 4 INCHES OF AGGREGATE SURFACING WILL BE USED TO BRING FINAL GRADE TO THE ELEVATIONS INDICATED ON DRAWING 11-CIV-07. REFER TO PROJECT SPECIFICATIONS FOR REQUIREMENTS OF EACH OF THESE LAYERS.
- TRU-BLN (OR LIME STABILIZATION BASED ON GEOTECHNICAL RECOMMENDATION) SHALL BE INCORPORATED IN TOP 12 INCHES OF SELECT FILL BELOW FLEXBASE SUBLAYER TO ACHIEVE A FINISHED P.S.I. LEVEL BETWEEN 80-100.
- CONNECT 6" PVC DRAINAGE PIPE TO END OF CABLE TRENCH. INVERT ELEVATION OF PIPE SHALL MATCH INVERT ELEVATION OF TRENCH. SLOPE THE PIPE AT A MINIMUM OF 1.0% TO PROMOTE POSITIVE DRAINAGE AWAY FROM CABLE TRENCH, AND CONNECT PIPE TO CONCRETE PUMPING BASIN. SEE DRAWING 11-CIV-13 FOR DETAILS.
- ALL CONTAINMENT DRAIN LINE PIPING SHALL BE SLOPED AT A MINIMUM OF 1.0% TO PROMOTE POSITIVE DRAINAGE TOWARD THE CONCRETE PUMPING BASIN.
- INSTALL 18 INCH WIDE CONCRETE PADS WITHIN DRIVEWAY APRONS AS SHOWN AND TO THE EXTENTS BEYOND THE DRIVEWAY PADS AS INDICATED. REFER TO DRIVEWAY APRON DETAIL ON DRAWING 11-CIV-10 FOR ADDITIONAL INFORMATION.

CITY OF COLLEGE STATION GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF COLLEGE STATION STANDARD SPECIFICATIONS AND DETAILS FOR (WATER, SEWER, STREETS, DRAINAGE). ALL CONSTRUCTION SHALL BE COORDINATED WITH THE CITY ENGINEER'S OFFICE.
- ALL UTILITY LINES (WATER, GAS, SANITARY SEWER, STORM SEWER, ETC.) SHOWN ARE TAKEN FROM BEST AVAILABLE RECORD INFORMATION BASED ON CONSTRUCTION UTILITY MAP DOCUMENTS OBTAINED FROM CITY & INDEPENDENT AGENCIES AND/OR ABOVE GROUND FIELD EVIDENCE. SHOWN POSITIONS MAY NOT REPRESENT AS-BUILT CONDITIONS.
- THE PROPERTY IS ZONED GC AND R-4.
- PROPOSED USE: ELECTRIC UTILITY SUBSTATION.
- BUILDING SETBACK SHALL BE IN ACCORDANCE WITH THE CITY OF COLLEGE STATION UNIFIED DEVELOPMENT ORDINANCES.
- THIS TRACT IS CONSIDERED A SINGLE BUILDING PLOT IN ACCORDANCE WITH UNIFIED DEVELOPMENT ORDINANCES.
- THIS TRACT IS CONSIDERED A SINGLE BUILDING PLOT IN ACCORDANCE WITH UNIFIED DEVELOPMENT ORDINANCES.
- PROPOSED SIGNS SHALL BE PERMITTED SEPARATELY IN ACCORDANCE WITH THE UDO.
- EXTERIOR BUILDING AND SITE LIGHTING WILL MEET THE STANDARDS OF SECTION 7.11 OF THE UDO. THE LIGHT SOURCE SHALL NOT PROJECT BELOW AN OPAQUE HOUSING AND NO FIXTURE SHALL DIRECTLY PROJECT LIGHT HORIZONTALLY. FIXTURES WILL BE MOUNTED IN SUCH A MANNER THAT THE PROJECT CONE OF LIGHT DOES NOT CROSS ANY PROPERTY LINES.
- DEMOLITION OF THE EXISTING APARTMENT BUILDING SHOWN ON 11-CIV-02 HAS BEEN COMPLETED. DEMOLITION OF THE EXISTING SUBSTATION EQUIPMENT SHOWN ON 11-CIV-05 TO BE REMOVED DURING GENERAL CONSTRUCTION TIMELINE.

LEGEND:



REFERENCES:

- 11-CIV-02 DEMO PLAN - PHASE 1
- 11-CIV-03 EROSION CONTROL PLAN - PHASE 1
- 11-CIV-04 EROSION CONTROL DETAILS
- 11-CIV-05 DEMO PLAN - PHASE 2
- 11-CIV-07 GRADING PLAN
- 11-CIV-08 GRADING SECTIONS
- 11-CIV-09 EROSION CONTROL PLAN - PHASE 2
- 11-CIV-10 CIVIL DETAILS
- 11-CIV-11 FENCE DETAILS
- 11-CIV-12 FENCE DETAILS
- 11-CIV-13 OIL CONTAINMENT & CABLE TRENCH DETAILS
- 11-CIV-14 TRAFFIC CONTROL PLAN
- 11-CIV-15 TRAFFIC CONTROL DETAILS

no.	date	by	ckd	description
A	5/5/23	JJR	MJB	ISSUED FOR 10% REVIEW
B	7/28/23	JJR	NS	ISSUED FOR REVIEW
C	11/20/23	JJR	NS	ISSUED FOR REVIEW
D	07/17/24	JJR	NS	ISSUED FOR REVIEW
E	10/30/24	JJR	CGM	ISSUED FOR REVIEW
F	4/4/25	JJR	CGM	ISSUED FOR REVIEW
G	6/6/25	JJR	MJB	ISSUED FOR REVIEW

PERMANENT BENCHMARK LOCATIONS

POINT	NORTHING	EASTING	ELEVATION
PBM-1	10215735.13	3553676.67	**
PBM-2	10215577.74	3553682.56	**
PBM-3	10215571.05	3553531.83	**
PBM-4	10215672.53	3553575.22	**

** SEE NOTE 2.

ISSUED FOR REVIEW

BURNS & McDONNELL
ENGINEERING LICENSE #F-845

date	10/30/24	detailed	S. SCHENK
designed	J. RINGER	checked	N. SANCHEZ

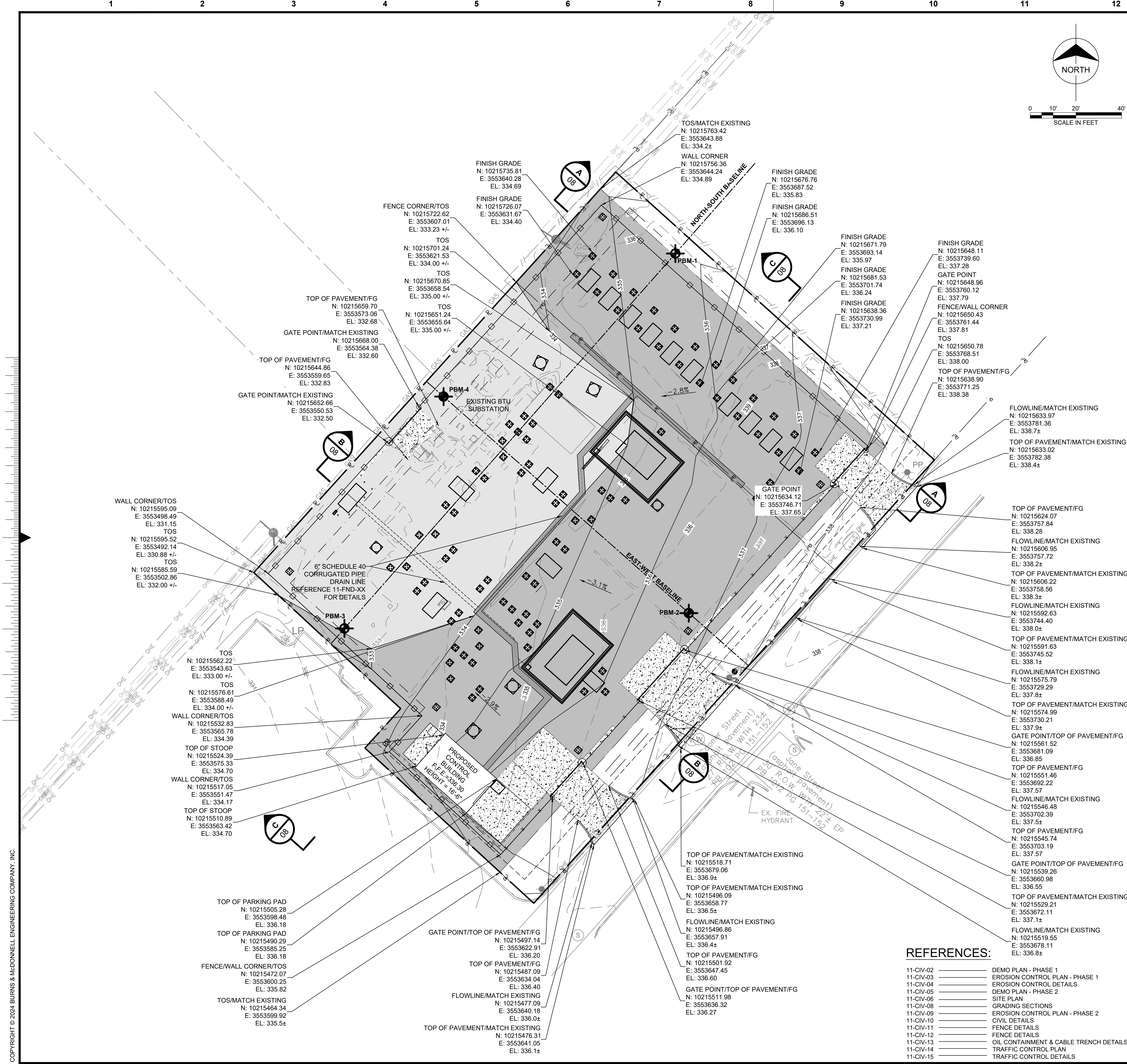
BRYAN TEXAS UTILITIES

SHADY LANE SUBSTATION SITE PLAN

project	155993	contract	-
drawing	11-CIV-06	rev.	G
sheet	5	of	14 sheets
file	11-CIV-06.DWG		

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Scale For Microfilming
Inches
Millimeters



NOTES:

- CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING UTILITIES PRIOR TO EARTH MOVING ACTIVITIES. NOTIFY OWNER AND ENGINEER OF UNDOCUMENTED AND RELOCATED UTILITIES. CONTRACTOR SHALL USE EXTREME CAUTION WHEN IN THIS AREA.
- CONTOURS AND ELEVATIONS INDICATED ARE TO FINISHED GRADE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO PROPERTY OF ADJACENT LANDOWNERS INCLUDING EXISTING UTILITIES, EXISTING PAVEMENTS, FENCING, ETC. WHICH IS DAMAGED IN THE PERFORMANCE OF THIS CONTRACT BY THE CONTRACTOR, HIS AGENTS, EMPLOYEES, SUBCONTRACTORS, OR THEIR EMPLOYEES. DAMAGED PROPERTY SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR BETTER AT THE CONTRACTOR'S EXPENSE.
- CRUSHED ROCK SURFACING SHALL EXTEND A MINIMUM OF 4'-0" OUTSIDE OF SUBSTATION FENCE OR TO THE PROPERTY LINE AS INDICATED.

LEGEND:

- EXISTING WOODEN FENCE
- PROPOSED COMPOSITE FENCE
- PROPOSED PERMACAST WALL
- PROPERTY LINE
- EASEMENT LINE
- ZONING SETBACK LINE
- RIGHT-OF-WAY
- EXISTING OVERHEAD ELECTRIC
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- CPT DRAIN LINE
- PVC DRAIN LINE
- PROPOSED SUBSTATION PAD (SEE "TYPICAL SUBSTATION AGGREGATE SURFACE SECTION" DETAIL, SHEET 11-CIV-08)
- EXISTING SUBSTATION PAD (TO BE RESTORED TO FULL AGGREGATE SECTION AFTER FINAL CONSTRUCTION PHASE)
- PROPOSED CONCRETE PAVEMENT
- RIPRAP OUTLET PROTECTION

REFERENCES:

- 11-CIV-02 DEMO PLAN - PHASE 1
- 11-CIV-03 EROSION CONTROL PLAN - PHASE 1
- 11-CIV-04 EROSION CONTROL DETAILS
- 11-CIV-05 DEMO PLAN - PHASE 2
- 11-CIV-06 SITE PLAN
- 11-CIV-08 GRADING SECTIONS
- 11-CIV-09 EROSION CONTROL PLAN - PHASE 2
- 11-CIV-10 CIVIL DETAILS
- 11-CIV-11 FENCE DETAILS
- 11-CIV-12 FENCE DETAILS
- 11-CIV-13 OIL CONTAINMENT & CABLE TRENCH DETAILS
- 11-CIV-14 TRAFFIC CONTROL PLAN
- 11-CIV-15 TRAFFIC CONTROL DETAILS

no.	date	by	ckd	description
A	7/28/23	JJR	NS	ISSUED FOR REVIEW
B	11/20/23	JJR	NS	ISSUED FOR REVIEW
C	07/17/24	JJR	NS	ISSUED FOR REVIEW
D	10/30/24	JJR	NS	ISSUED FOR REVIEW
E	4/4/25	JJR	CGM	ISSUED FOR REVIEW
F	6/6/25	JJR	MJB	ISSUED FOR REVIEW

RELEASED FOR REVIEW ONLY BY JASON RINGER, P.E. #136870 ON 6/6/2025 AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

ISSUED FOR REVIEW

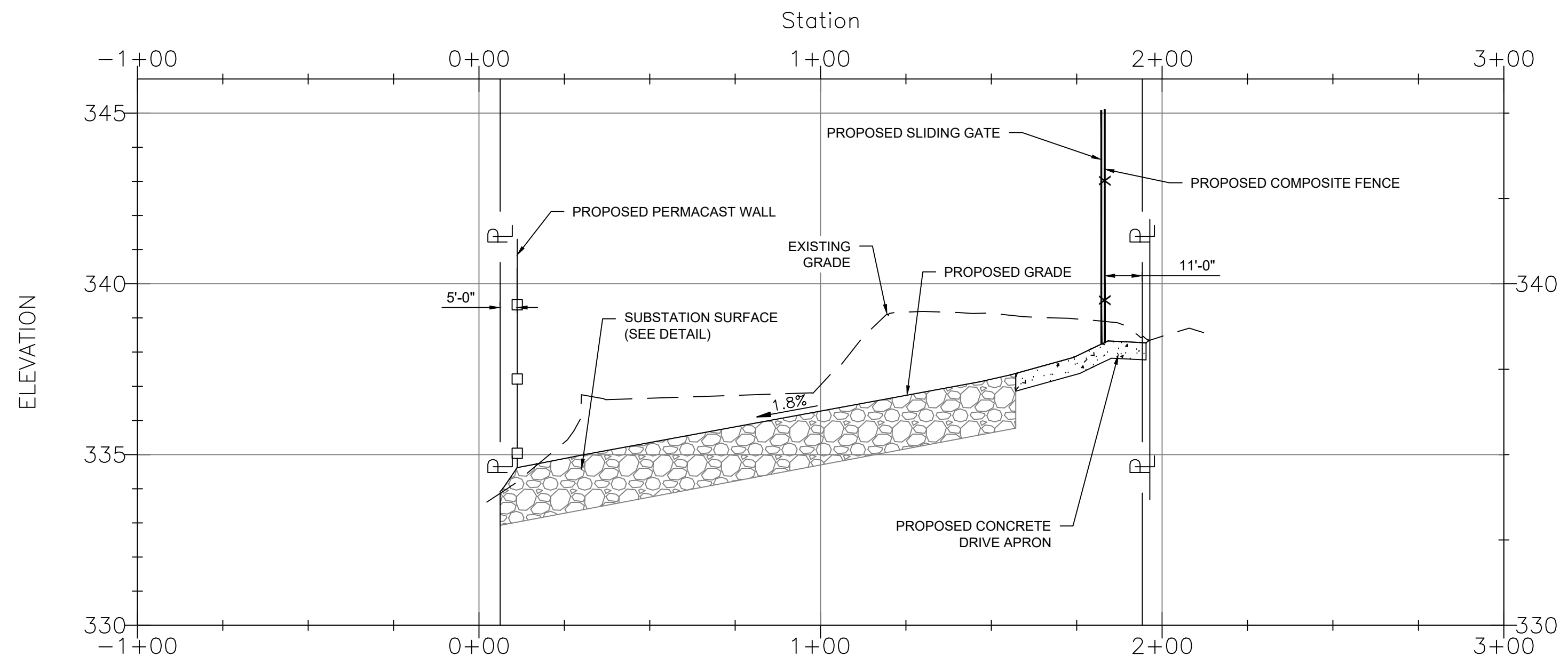


date	10/30/24	detailed	S. SCHENK
designed	J. RINGER	checked	N. SANCHEZ

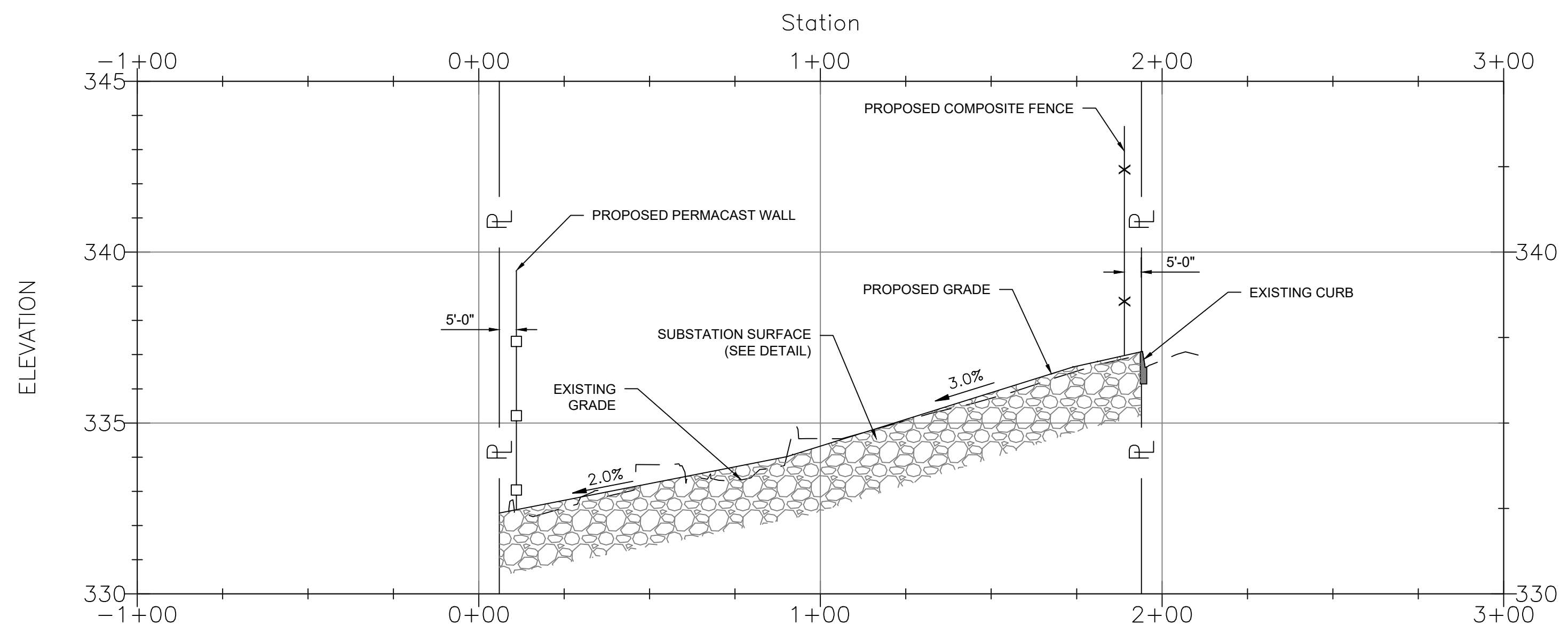
BRYAN TEXAS UTILITIES

SHADY LANE SUBSTATION GRADING PLAN

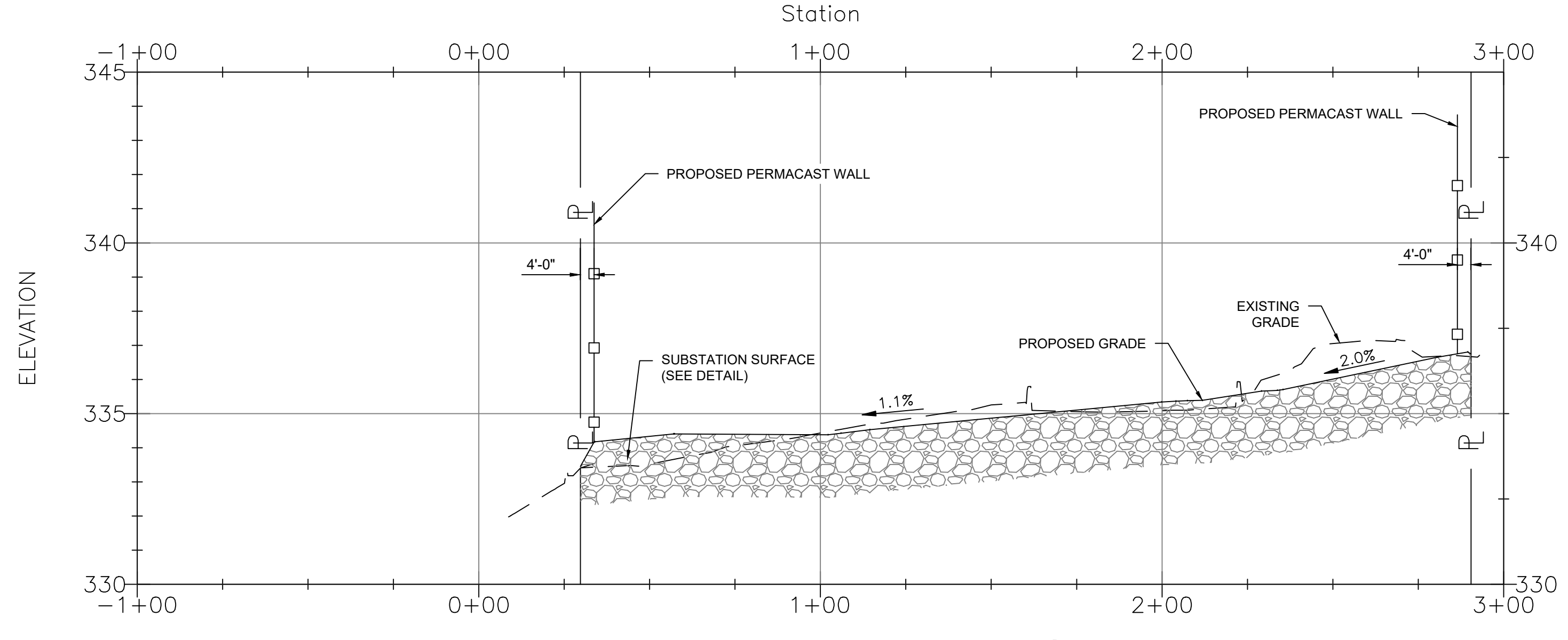
project	155993	contract	-
drawing	11-CIV-07	rev.	F
sheet	6	of	14 sheets
file	11-CIV-07.DWG		



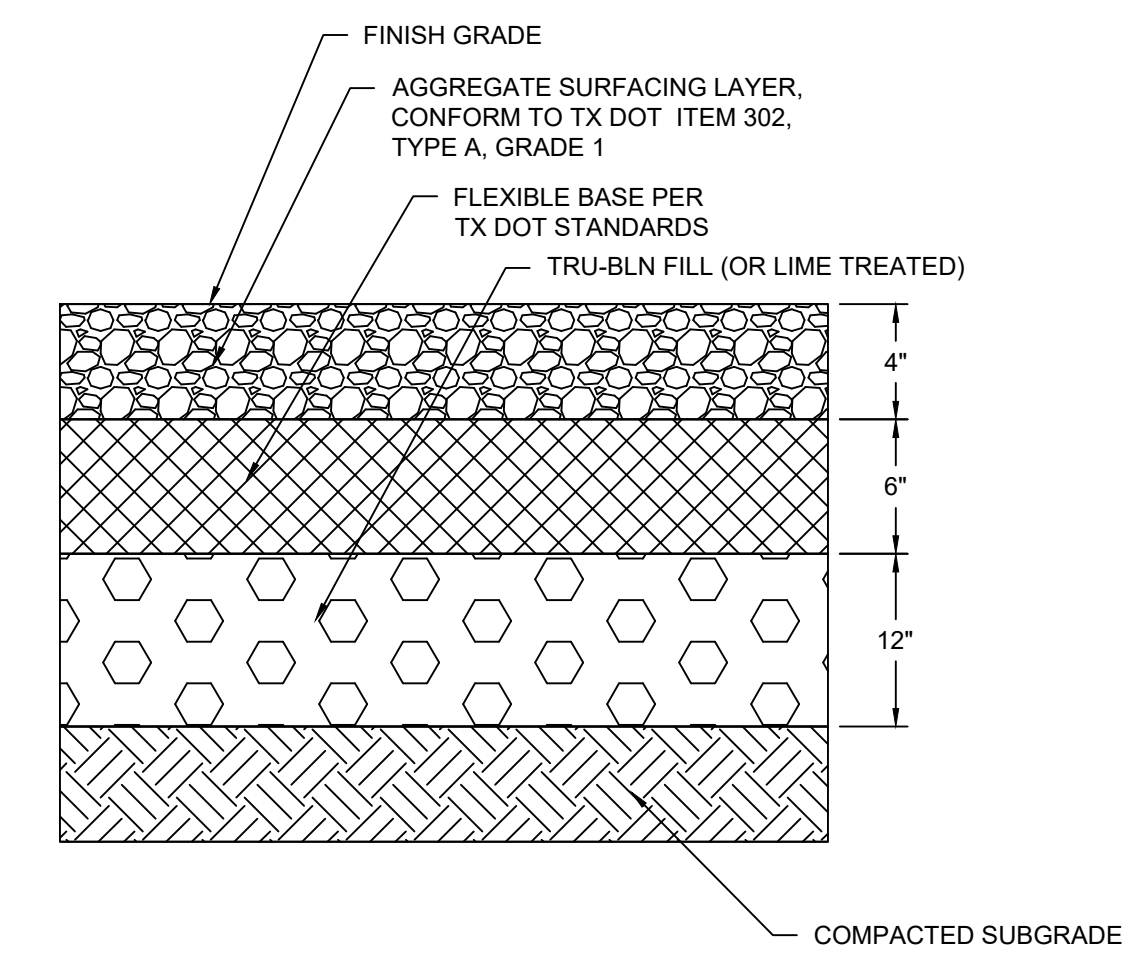
NORTHWEST-SOUTHEAST GRADING PROFILE 1 **A-A**
NW-SE



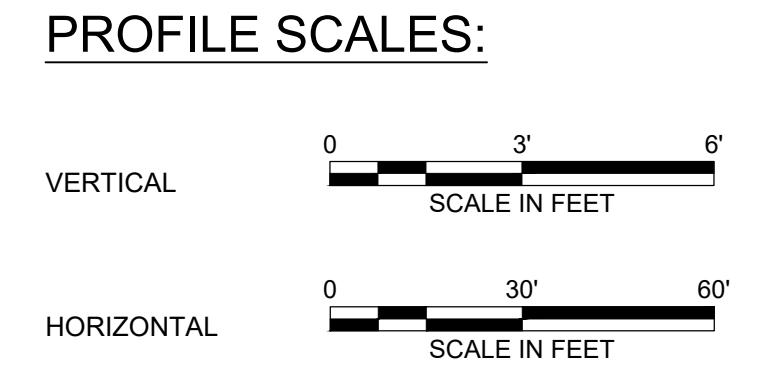
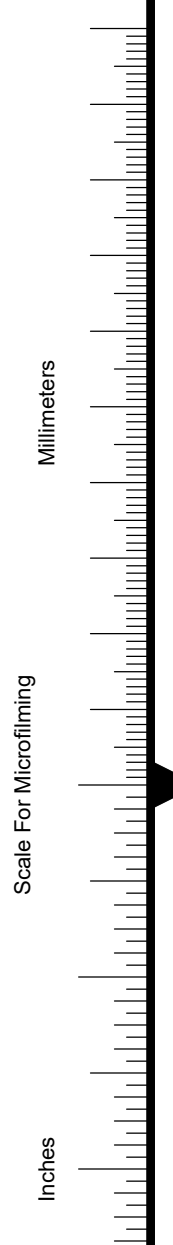
NORTHWEST-SOUTHEAST GRADING PROFILE 2 **B-B**
NW-SE



SOUTHWEST-NORTHEAST GRADING PROFILE 1 **C-C**
SW-NE



TYPICAL SUBSTATION AGGREGATE SURFACE SECTION
SEE NOTES 4, 5, & 6 ON DRAWING 11-CIV-06
NO SCALE



- REFERENCES:**
- 11-CIV-02 DEMO PLAN - PHASE 1
 - 11-CIV-03 EROSION CONTROL PLAN - PHASE 1
 - 11-CIV-04 EROSION CONTROL DETAILS
 - 11-CIV-05 DEMO PLAN - PHASE 2
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 - 11-CIV-14 TRAFFIC CONTROL PLAN
 - 11-CIV-15 TRAFFIC CONTROL DETAILS

no.	date	by	ckd	description
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B	11/20/23	JJR	NS	ISSUED FOR REVIEW
C	07/17/24	JJR	NS	ISSUED FOR REVIEW
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E	4/4/25	JJR	CGM	ISSUED FOR REVIEW
F	6/6/25	JJR	CGM	ISSUED FOR REVIEW

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CITY OF COLLEGE STATION
APPROVAL BLOCK

ISSUED FOR REVIEW

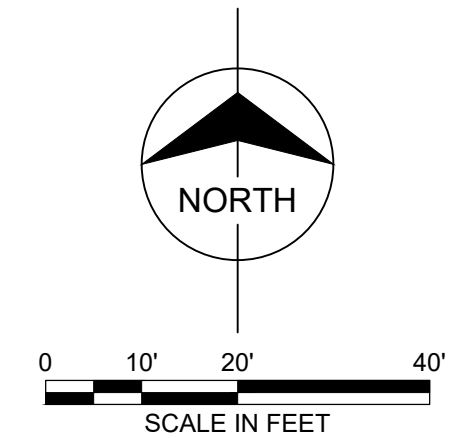
BURNS & MCDONNELL
ENGINEERING LICENSE #F-845

date	10/30/24	detailed	S. SCHENK
designed	J. RINGER	checked	N. SANCHEZ

BRYAN TEXAS UTILITIES

SHADY LANE SUBSTATION GRADING SECTIONS

project	155993	contract	-
drawing	11-CIV-08	rev.	F
sheet	7	of	14 sheets
file	11-CIV-08.DWG		



NOTES:

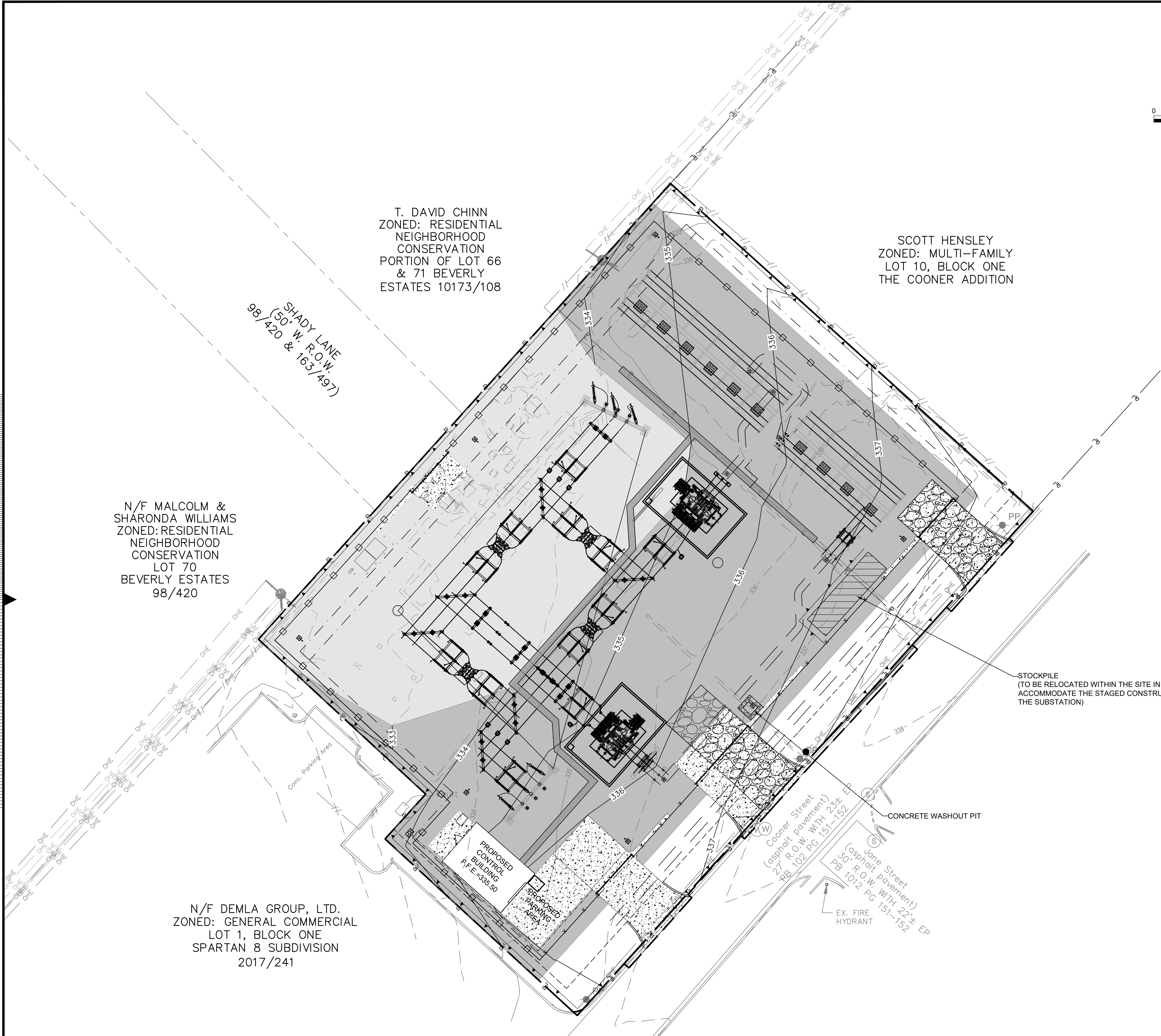
- ALL BMP'S SHALL BE INSTALLED PRIOR TO SITE CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL FINAL SITE SURFACING IS COMPLETE AND VEGETATION IS ADEQUATELY STABILIZED.
- ALL BMP'S SHALL BE INSPECTED ONCE EVERY 7 CALENDAR DAYS AND AFTER EACH RAINFALL EVENT GREATER THAN 0.5 INCHES PER 24 HOUR PERIOD BY THE END OF THE NEXT CALENDAR DAY, EXCLUDING WEEKENDS AND HOLIDAYS UNLESS WORK IS SCHEDULED.
- CONTRACTOR TO LOCATE RELATED EROSION CONTROL MEASURES ON SITE AS REQUIRED TO SUPPORT DEMOLITION.

AREA OF DISTURBANCE		
AREA	SQ. FT.	ACRES
EXISTING SUBSTATION	13019.67	0.30
SUBSTATION EXPANSION	34334.16	0.79
TOTAL DISTURBANCE	47353.84	1.09

LEGEND:

- EXISTING SUBSTATION FENCE
- EXISTING WOODEN FENCE
- APPROXIMATE EXISTING TREELINE
- PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- SILT FENCE AND/OR STRAW WATTLE
- PROPOSED COMPOSITE FENCE
- PROPOSED PERMACAST WALL
- LIMITS OF DISTURBANCE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER VALVE VAULT
- CONCRETE WASHOUT
- CONSTRUCTION EXIT
- SOIL STOCKPILE
- PROPOSED PAD
- EXISTING SUBSTATION PAD (TO BE RESTORED TO FULL AGGREGATE SECTION AFTER FINAL CONSTRUCTION PHASE)
- CONCRETE PAVEMENT
- RIPRAP OUTLET PROTECTION

no.	date	by	ckd	description
A	7/28/23	JJR	NS	ISSUED FOR REVIEW
B	11/20/23	JJR	NS	ISSUED FOR REVIEW
C	07/17/24	JJR	NS	ISSUED FOR REVIEW
D	10/30/24	JJR	NS	ISSUED FOR REVIEW
E	4/4/25	JJR	CGM	ISSUED FOR REVIEW
F	6/6/25	JJR	CGM	ISSUED FOR REVIEW



T. DAVID CHINN
ZONED: RESIDENTIAL
NEIGHBORHOOD
CONSERVATION
PORTION OF LOT 66
& 71 BEVERLY
ESTATES 10173/108

SCOTT HENSLEY
ZONED: MULTI-FAMILY
LOT 10, BLOCK ONE
THE COONER ADDITION

SHADY LANE
(50' W. R.O.W.
98/420 & 165/497)

N/F MALCOLM &
SHARONDA WILLIAMS
ZONED: RESIDENTIAL
NEIGHBORHOOD
CONSERVATION
LOT 70
BEVERLY ESTATES
98/420

N/F DEMLA GROUP, LTD.
ZONED: GENERAL COMMERCIAL
LOT 1, BLOCK ONE
SPARTAN 8 SUBDIVISION
2017/241

STOCKPILE
(TO BE RELOCATED WITHIN THE SITE IN ORDER TO
ACCOMMODATE THE STAGED CONSTRUCTION OF
THE SUBSTATION)

CONCRETE WASHOUT PIT

Cooner Street
(asphalt pavement)
22' R.O.W. WITH 24"
PB 102 PG. 151-152

Jone Street
(asphalt pavement)
10' R.O.W. WITH 22"± EP
1012 PG. 151-152

EX. FIRE
HYDRANT

PROPOSED
CONTROL
BUILDING
P.F.E.-330.50

PROPOSED
MARKING
PIT

REFERENCES:

- 11-CIV-02 DEMO PLAN - PHASE 1
- 11-CIV-03 EROSION CONTROL PLAN - PHASE 1
- 11-CIV-04 EROSION CONTROL DETAILS
- 11-CIV-05 DEMO PLAN - PHASE 2
- 11-CIV-06 SITE PLAN
- 11-CIV-07 GRADING PLAN
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- 11-CIV-10 CIVIL DETAILS
- 11-CIV-11 FENCE DETAILS
- 11-CIV-12 FENCE DETAILS
- 11-CIV-13 OIL CONTAINMENT & CABLE TRENCH DETAILS
- 11-CIV-14 TRAFFIC CONTROL PLAN
- 11-CIV-15 TRAFFIC CONTROL DETAILS

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P.E. #136870 ON 6/6/2025 AND SHALL NOT BE USED
FOR CONSTRUCTION PURPOSES.

**ISSUED
FOR REVIEW**



date	10/30/24	detailed	S. SCHENK
designed	J. RINGER	checked	N. SANCHEZ

**BRYAN TEXAS
UTILITIES**

SHADY LANE SUBSTATION
EROSION CONTROL PLAN - PHASE 2

project	155993	contract	-
drawing	11-CIV-09	rev.	F
sheet	8	of	14 sheets
file	11-CIV-09.DWG		

Scale For Microfilming
Inches
Millimeters

1	2	3	5	6	7	8	9	10	11	12	13
<p style="text-align: center;">Trex Fencing</p> <p style="text-align: center;">SECTION 02824 WOOD COMPOSITE FENCES AND GATES</p> <p>PART 1 - GENERAL</p> <p>1.1 SECTION INCLUDES</p> <p>A. Wood composite fences.</p> <p>B. Excavation for posts.</p> <p>1.2 RELATED SECTIONS</p> <p>A. Section 03300 - Concrete</p> <p>1.3 REFERENCES</p> <p>A. ASTM C 94 - Standard Specification for Ready-Mixed Concrete.</p> <p>B. ASTM C 177 - Standard Test Method for Steady-State Heat Flux Measurements and Thermal Transmission Properties by Means of the Guarded Hot-Plate Apparatus.</p> <p>C. ASTM D 143 - Standard Test Methods for Small Clear Specimens of Timber.</p> <p>D. ASTM D 199 - Standard Test Methods of Static Tests of Lumber in Structural Sizes.</p> <p>E. ASTM D 1037 - Standard Test Methods for Evaluating Properties of Wood-Base Fiber and Particle Panel Materials.</p> <p>F. ASTM D 1413 - Standard Test Method for Wood Preservatives by Laboratory Soil-Block Cultures.</p> <p>G. ASTM D 1761 - Standard Test Methods for Mechanical Fasteners in Wood.</p> <p>H. ASTM D1929 - Standard Test Method for Determining Ignition Temperature of Plastics.</p> <p>I. ASTM D 2047 - Standard Test Method for Static Coefficient of Friction of Polish-Coated Flooring Surfaces as Measured by the James Machine.</p> <p>J. ASTM D 2394 - Standard Methods for Simulated Service Testing of Wood and Wood-Base Finish Flooring.</p>											

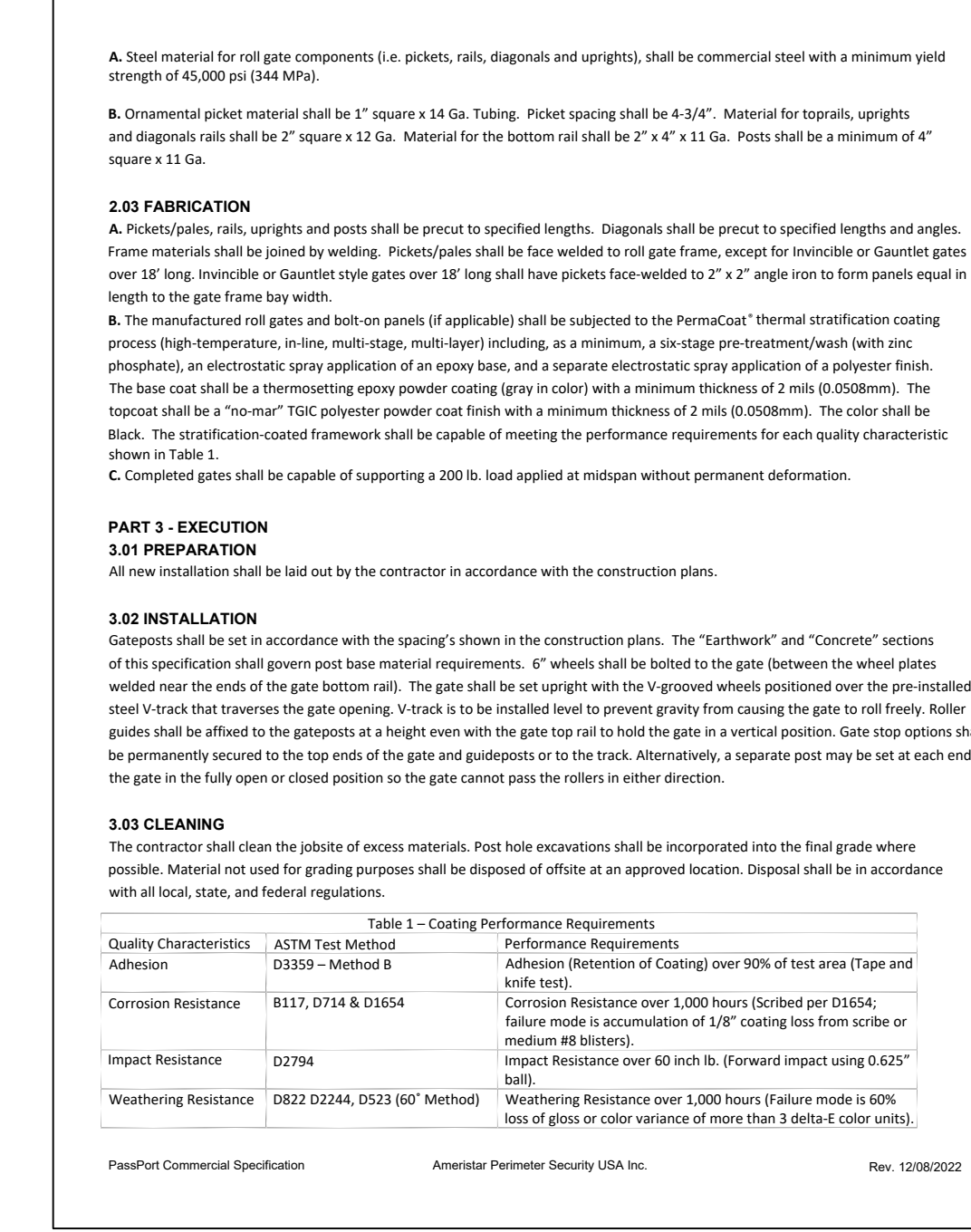
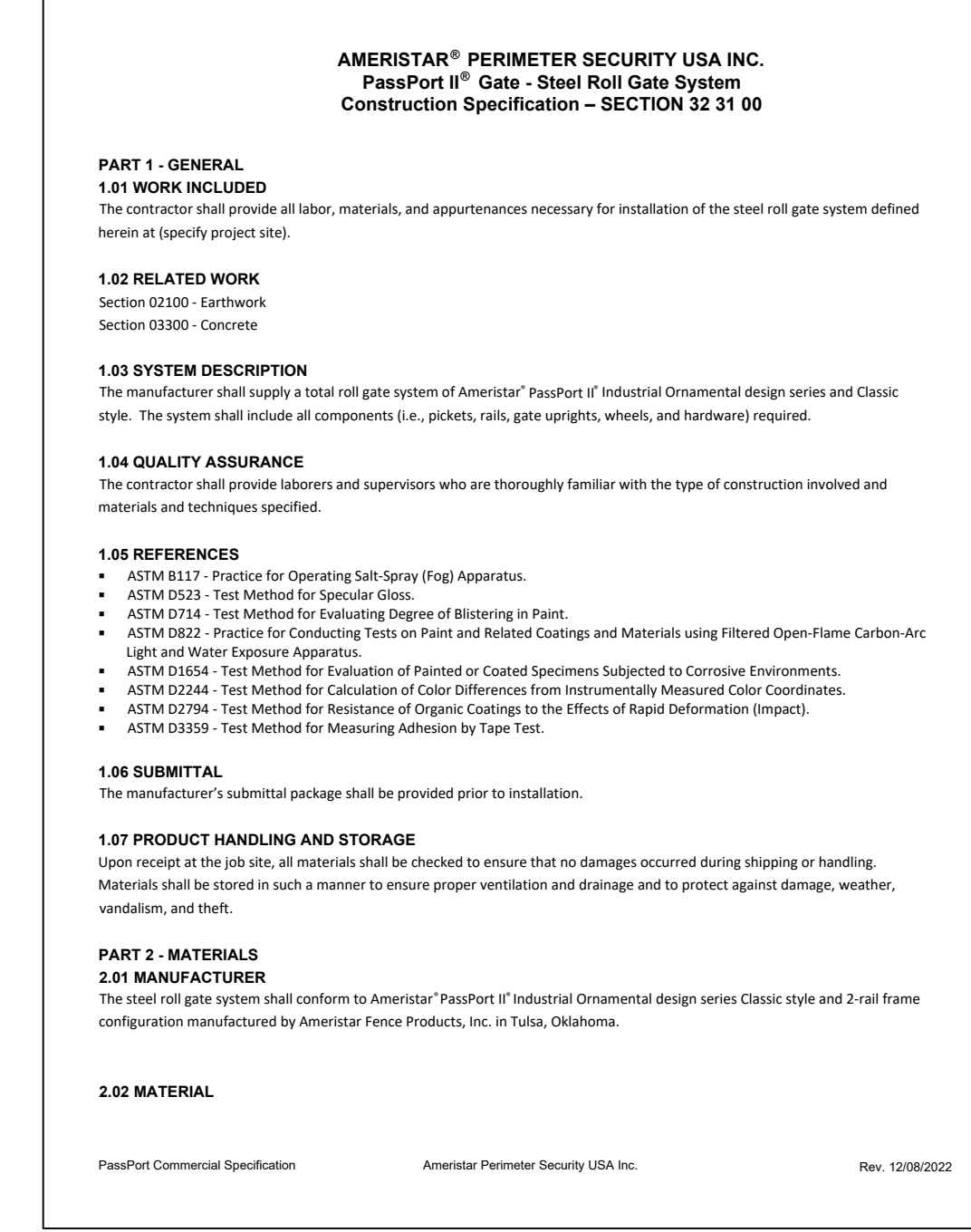
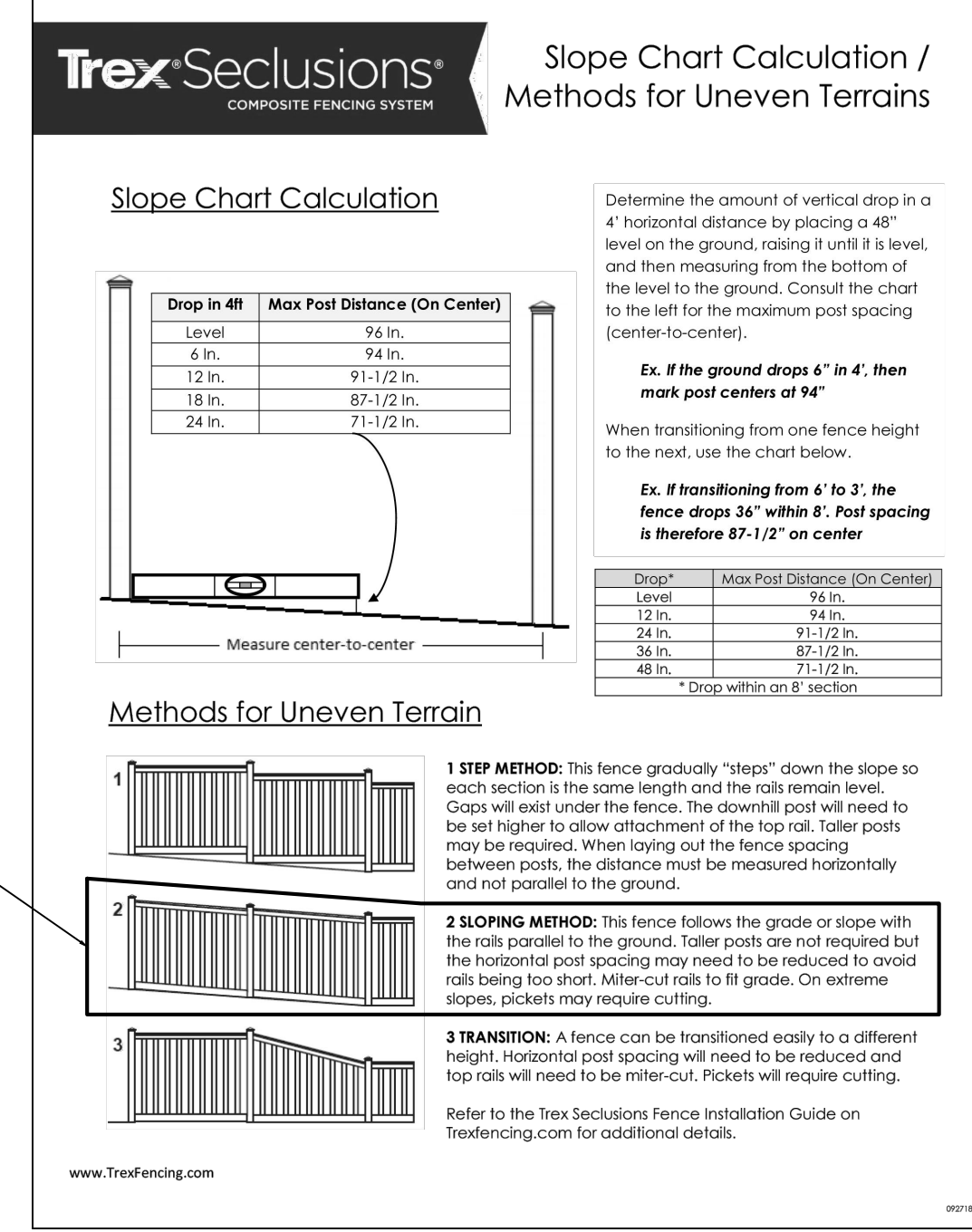
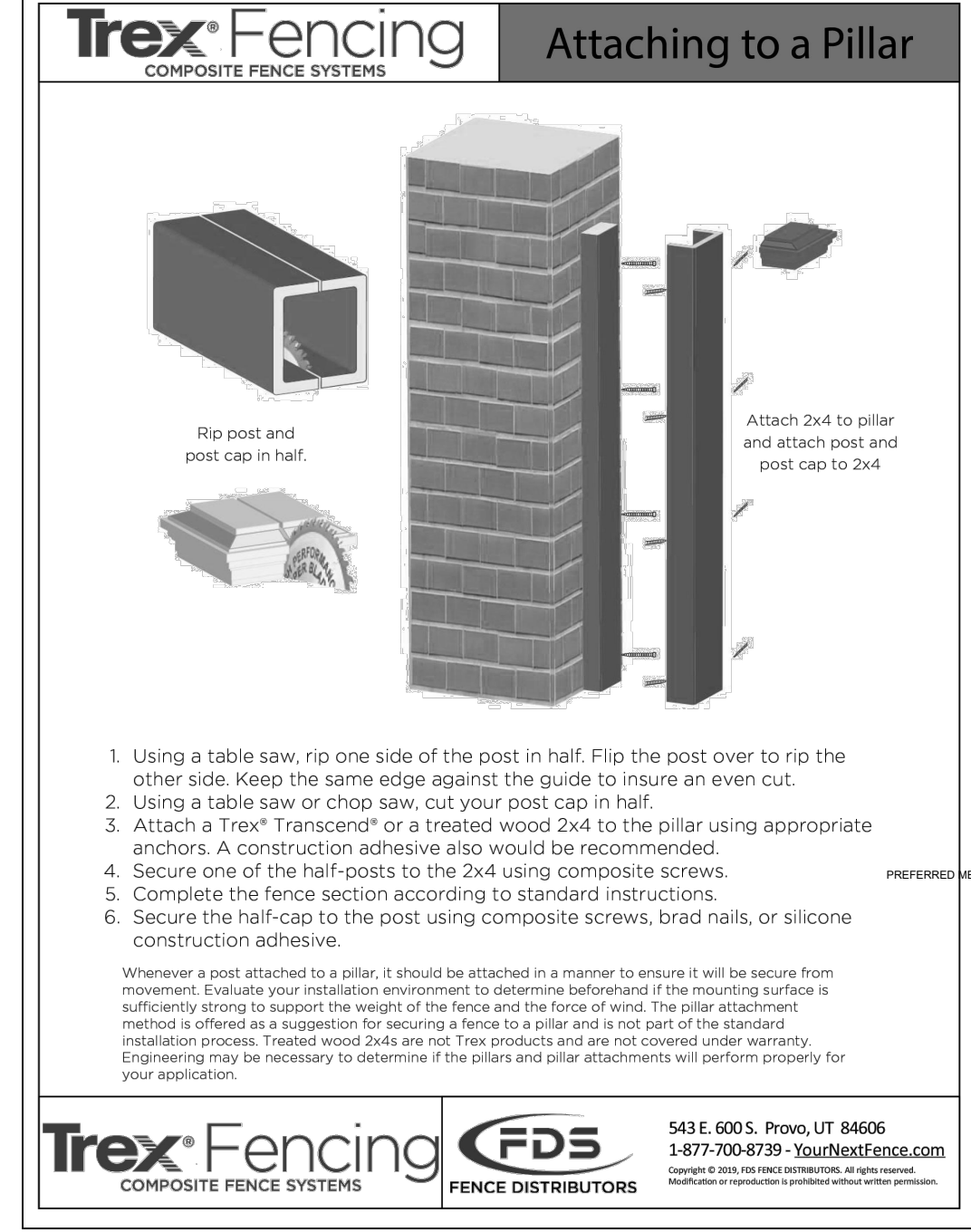
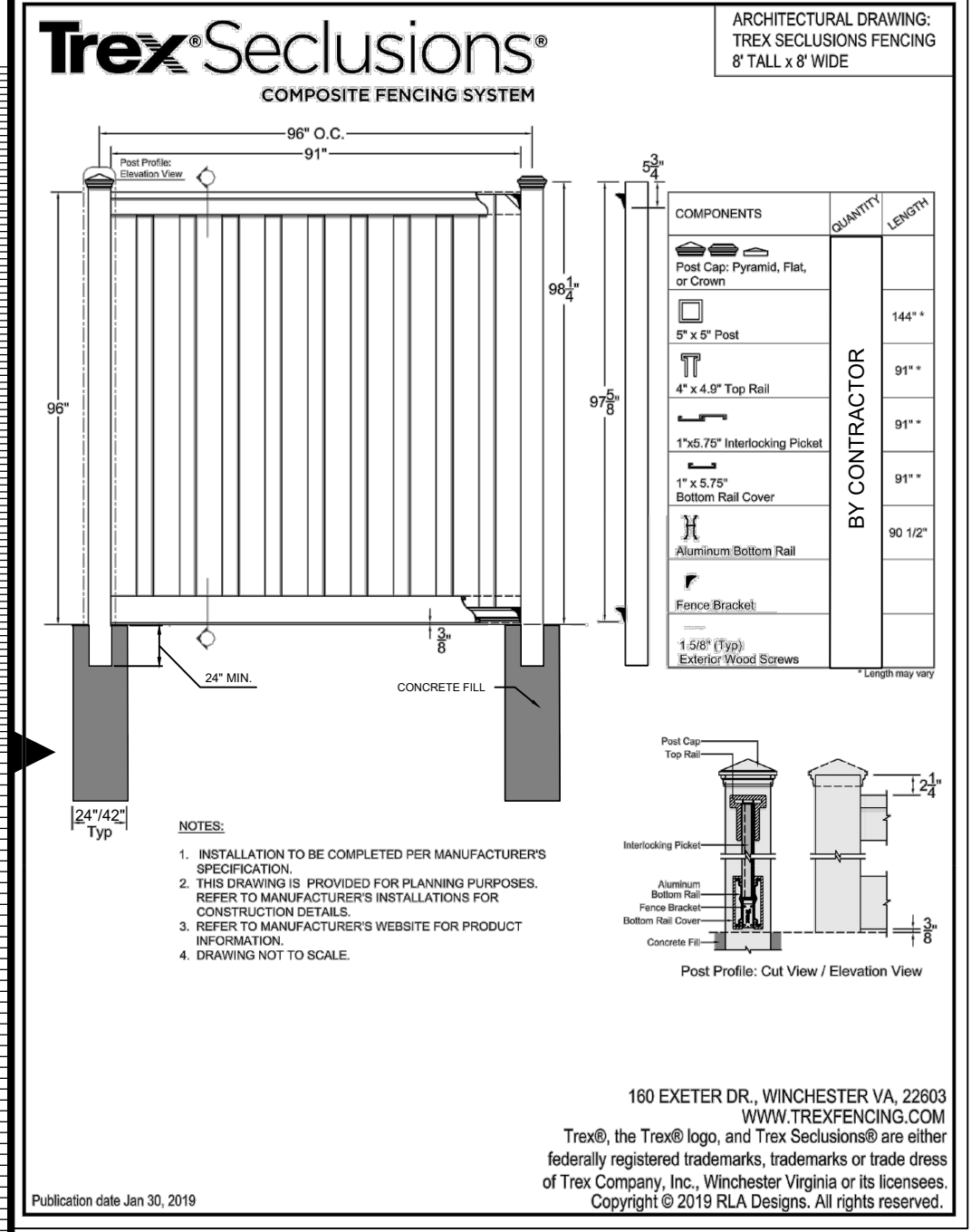
1	2	3	5	6	7	8	9	10	11	12	13
<p>K. ASTM D 2395 - Standard Test Methods for Specific Gravity of Wood and Wood-Based Materials.</p> <p>L. ASTM D 4761 - Standard Test Methods for Mechanical Properties of Lumber and Wood-Base Structural Material.</p> <p>M. ASTM E 84 - Standard Test Method for Surface Burning Characteristics of Building Materials.</p> <p>N. ASTM F 1679 - Standard Test Method for Using a Variable Incidence Tribometer (VIT)</p> <p>O. American Wood Preservers Association (AWPA) E1-09 - Standard Method for Laboratory Evaluation to Determine Resistance to Subterranean Termites.</p> <p>1.4 DESIGN / PERFORMANCE REQUIREMENTS</p> <p>A. Design Requirements: Design fence system to withstand Brazos County, Texas 120 MPH ultimate wind speed.</p> <p>1.5 SUBMITTALS</p> <p>A. Product Data: Manufacturer's data sheets on each product to be used indicating sizes, profiles, surface finishes, and performance characteristics, and including:</p> <ol style="list-style-type: none"> Preparation instructions and recommendations. Storage and handling requirements and recommendations. Installation methods. Instructions on care and cleaning of composite wood products. <p>B. Verification Samples: For each finish product specified, two samples, minimum size 9 inches (229 mm) square, representing actual product, color, and pattern.</p> <p>C. Manufacturer's Certificates: Certify products meet or exceed specified requirements.</p> <p>D. Closeout Submittals: Provide manufacturer's maintenance instructions that include recommendations for cleaning and maintenance.</p> <p>1.6 DELIVERY, STORAGE, AND HANDLING</p> <p>A. Deliver, store and handle products in accordance with the manufacturer's instructions.</p> <p>B. Store level and flat, off ground or floor, with supports at each end and maximum 24 inches on center.</p> <p>C. Do not stack wood composite over 8 feet (203 mm) high.</p> <p>D. Cover wood composite with waterproof covering, vented to prevent moisture buildup.</p> <p>1.7 WARRANTY</p> <p>A. Provide manufacturer's 25 year residential warranty / 10 year commercial warranty providing coverage against checking, splitting, splintering, rotting, structural damage from termites, and fungal decay of wood composite.</p> <p>PART 2 PRODUCTS</p> <p>2.1 MANUFACTURERS</p>											

1	2	3	5	6	7	8	9	10	11	12	13
<p>A. Acceptable Manufacturer: Trex Fencing, which is located at: 160 Exeter Dr., Winchester, VA 22603; Distributors and Technical Contacts: www.trexfencing.com.</p> <p>B. Substitutions: Not permitted.</p> <p>2.2 MATERIALS</p> <p>A. Wood composite: Reclaimed wood and plastic with integral coloring, free from toxic chemicals and preservatives.</p> <ol style="list-style-type: none"> Characteristics: <ol style="list-style-type: none"> Abrasion resistance: 0.01 inch wear per 1000 revolutions, tested to ASTM D 2394. Hardness: 1124 pounds, tested to ASTM D 143. Self ignition temperature: 743 degrees F, tested to ASTM D 1929. Flash ignition temperature: 688 degrees F, tested to ASTM D 1929. Flame spread rating: 90, tested to ASTM E 84. Water absorption, 24 hour immersion, tested to ASTM D 1037: <ol style="list-style-type: none"> Sanded surface: 4.3 percent. Unsanded surface: 1.7 percent. Thermal expansion coefficient: 35 inch long samples: <ol style="list-style-type: none"> Width: 35.2 x 10.6 to 42.7 x 10.6. Length: 16.1 x 10.6 to 19.2 x 10.6. Fastener withdrawal, tested to ASTM D 1761: <ol style="list-style-type: none"> Nail: 103 pounds per inch. Screw: 556 pounds per inch. Static coefficient of friction: <ol style="list-style-type: none"> Dry: 0.53 to 0.55, tested to ASTM D 2047. Dry: 0.50 to 0.70, tested to ASTM F 1679. Termites resistance: 8.6 rating, tested to AWPA E1. Specific gravity: 0.91 to 0.95, tested to ASTM D 2395. Compression: <ol style="list-style-type: none"> Parallel: 1806 PSI ultimate, 550 PSI design, tested to ASTM D 198. Perpendicular: 1944 PSI ultimate, 625 PSI design, tested to ASTM D 143. Tensile strength: 854 PSI ultimate, 250 PSI design, tested to ASTM D 198. Shear strength: 561 PSI ultimate, 200 PSI design, tested to ASTM D 143. Modulus of rupture: 1423 PSI ultimate, 250 PSI design, tested to ASTM D 4761. Modulus of elasticity: 175,000 PSI ultimate, 100,000 PSI design, tested to ASTM D 4761. Thermal conductivity: 1.57 BTU per inch per hour per square foot at 85 degrees F, tested to ASTM D 177. <p>2.3 COMPONENTS</p> <p>A. Fence System: Seclusions Privacy Fence System.</p> <p>B. Fence height:</p> <ol style="list-style-type: none"> 8 feet. <p>C. Components:</p> <ol style="list-style-type: none"> Fence posts. 											

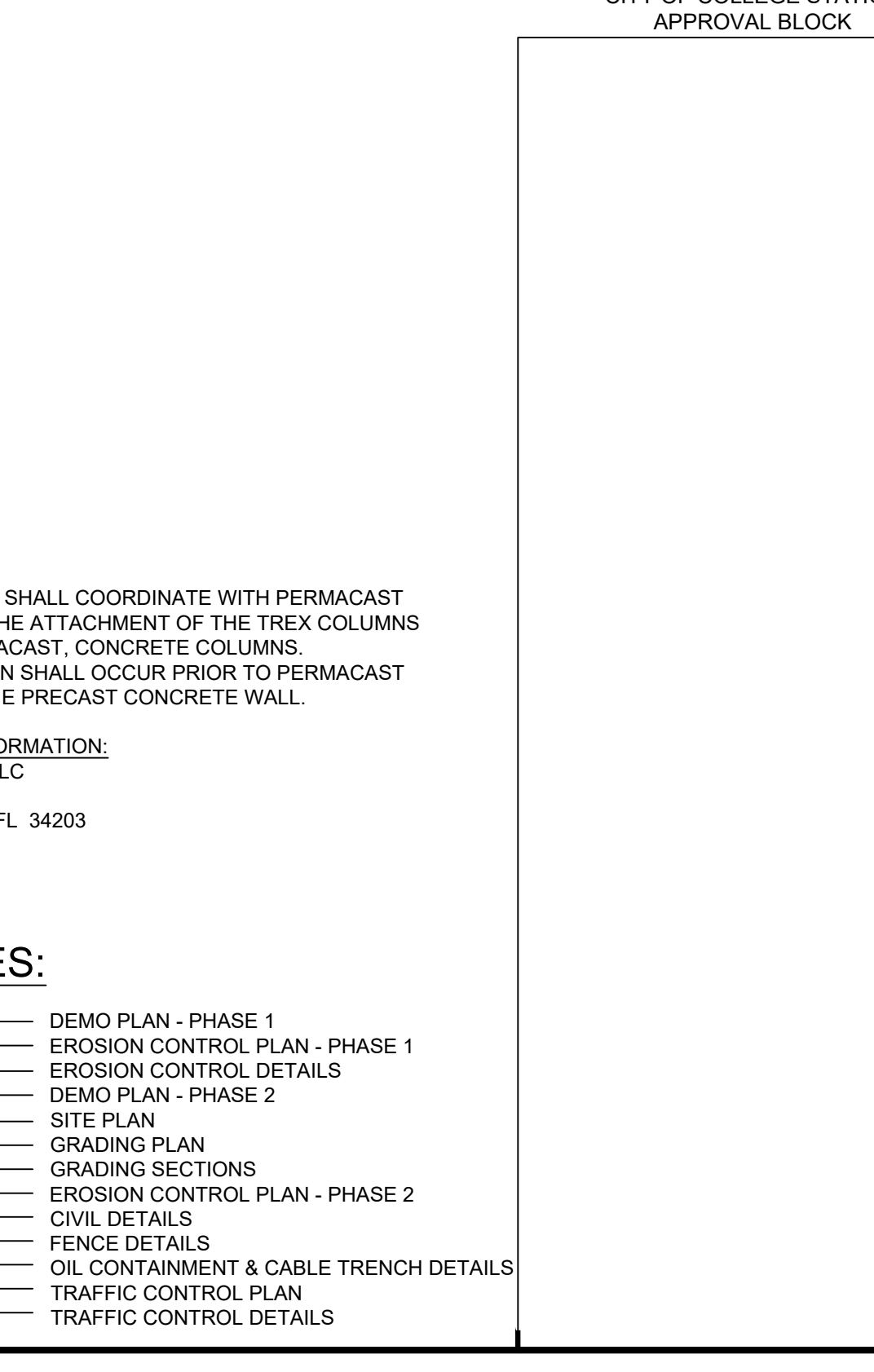
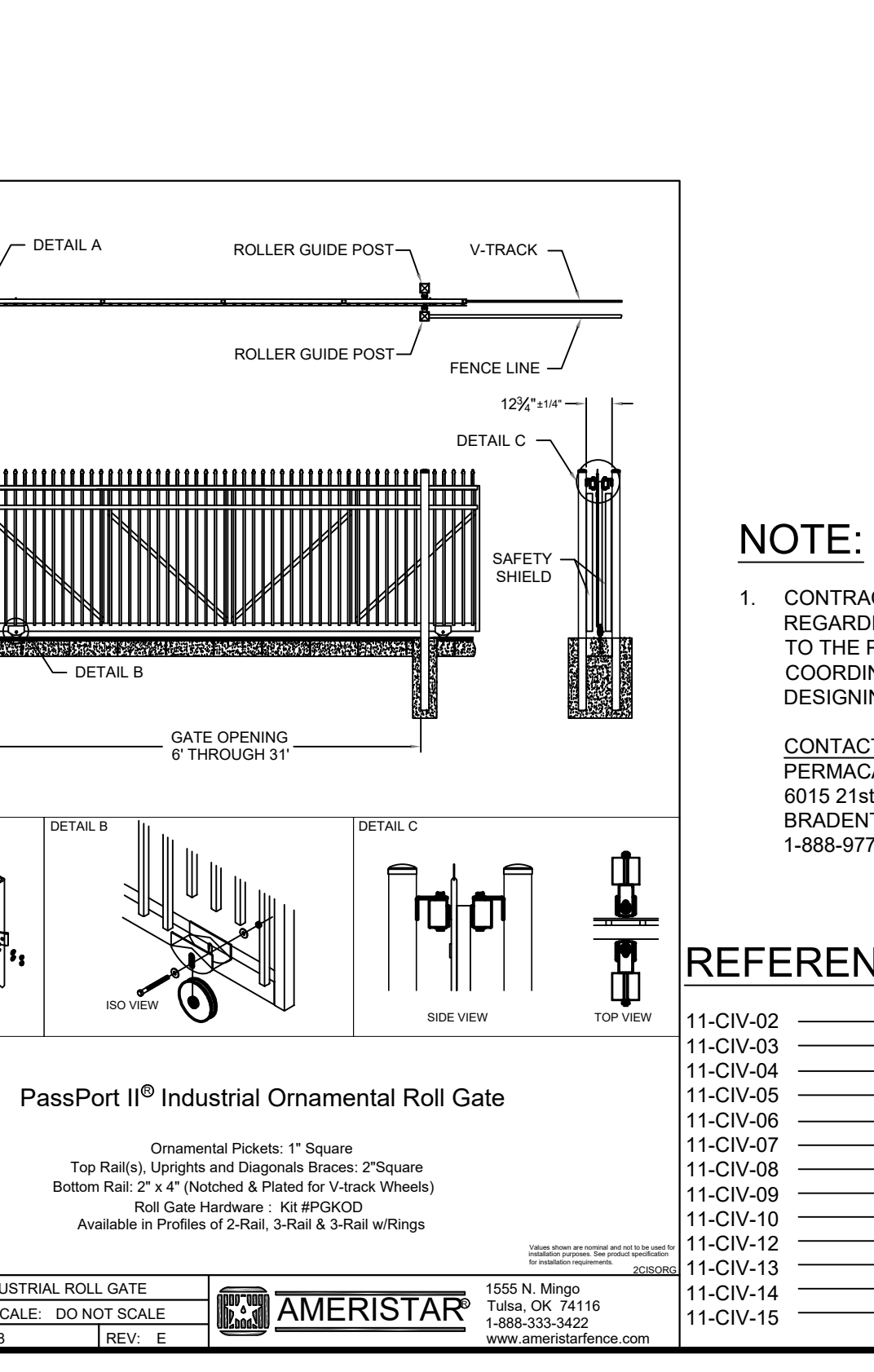
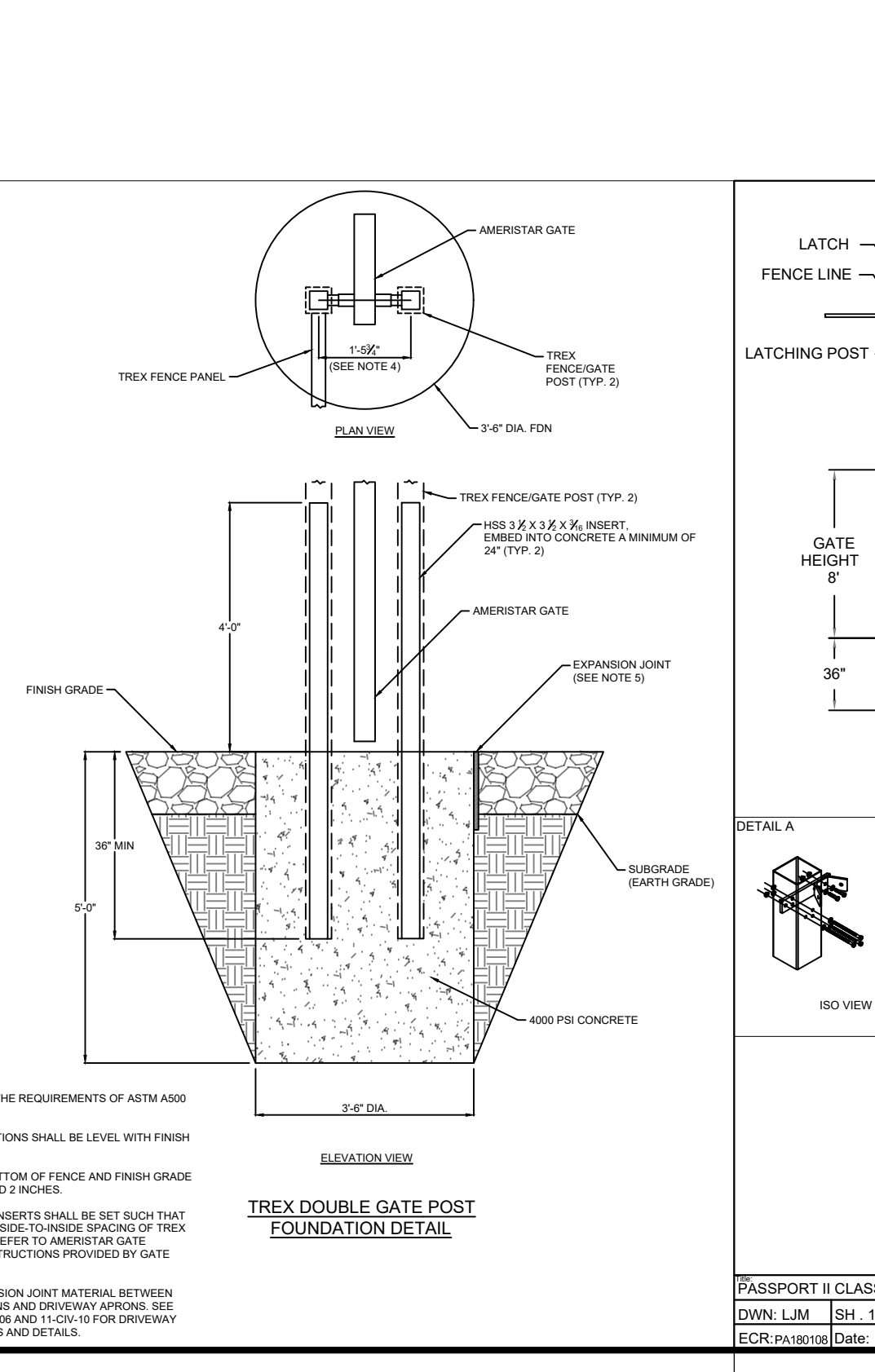
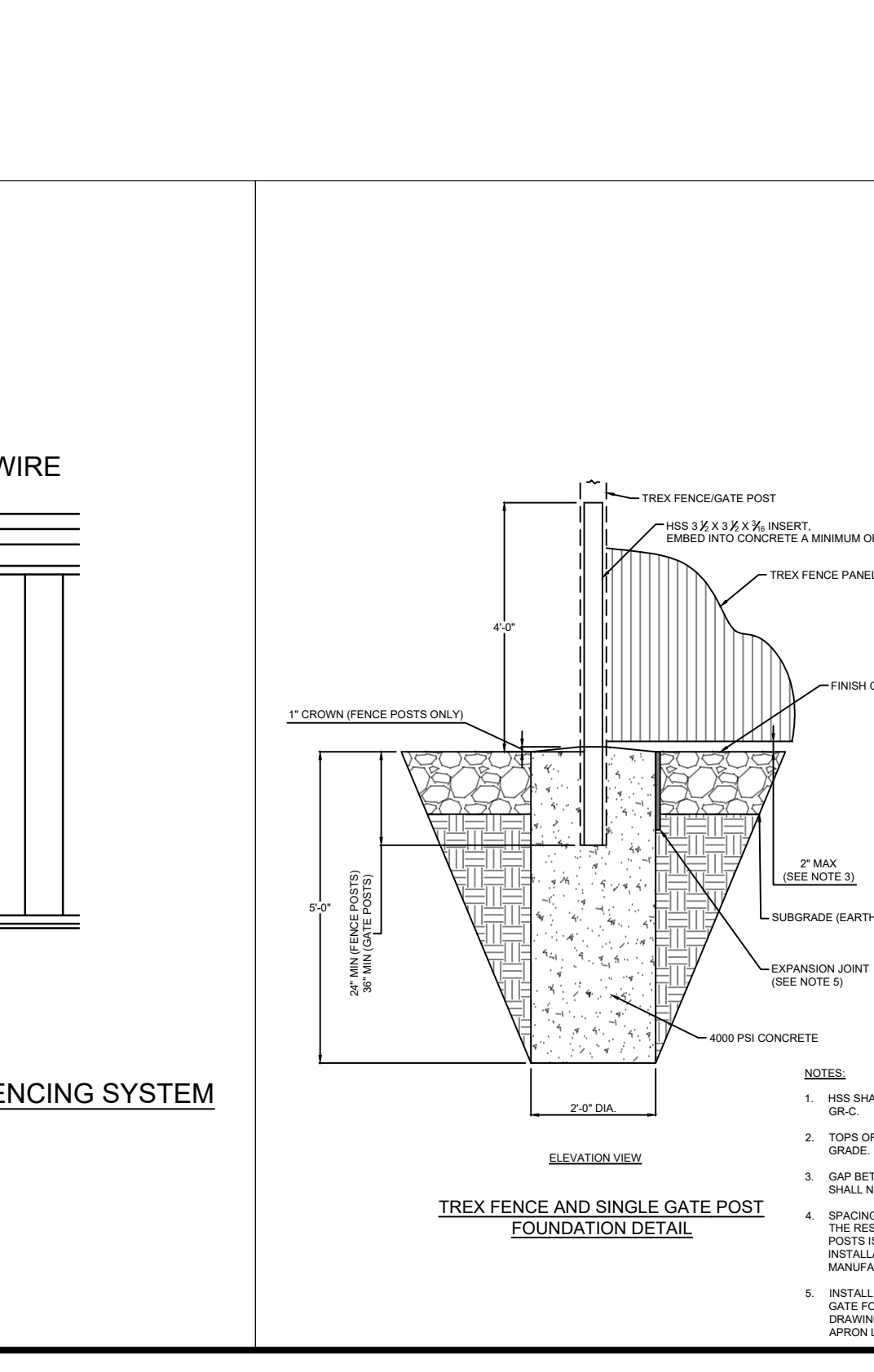
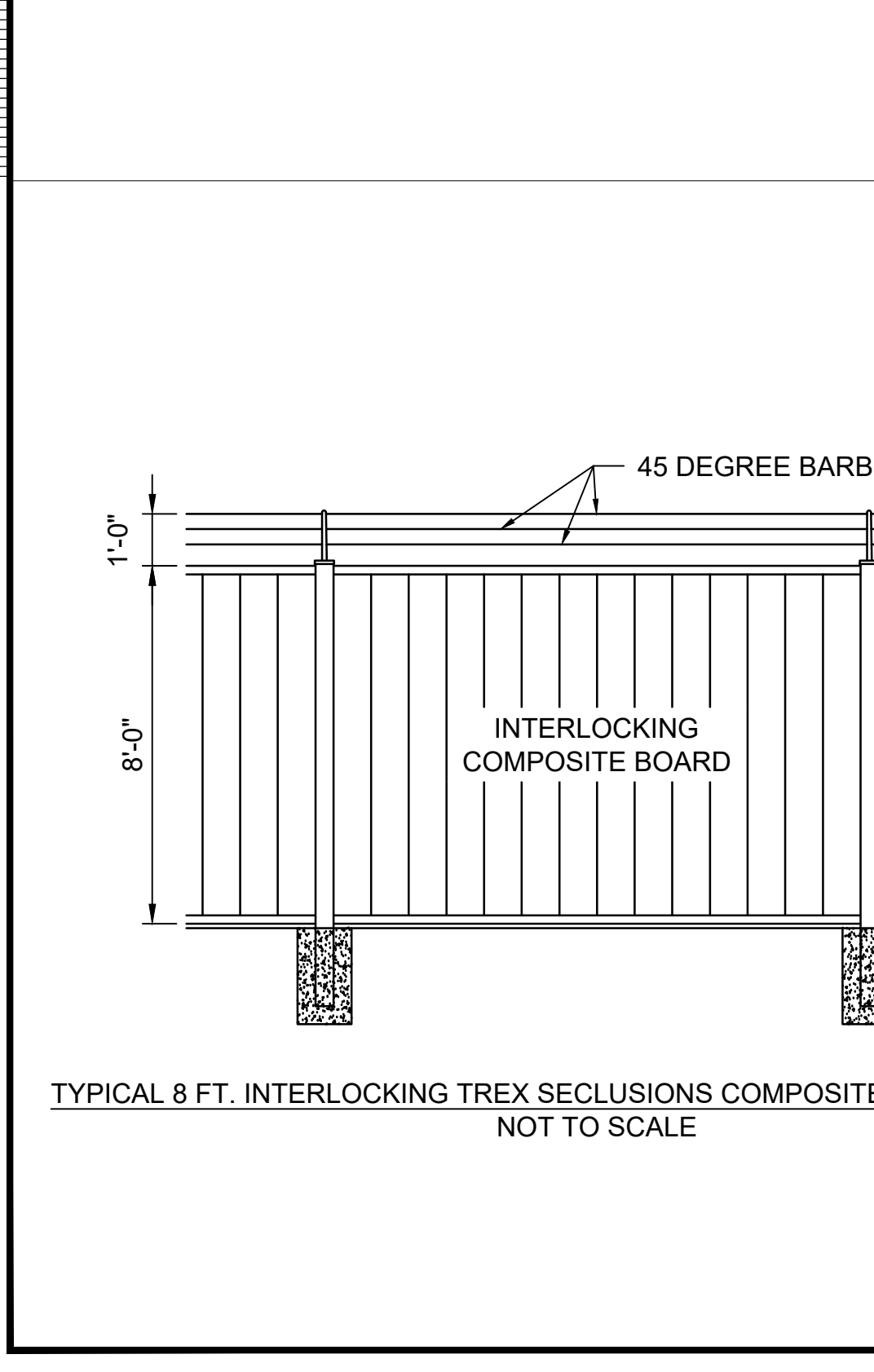
1	2	3	5	6	7	8	9	10	11	12	13
<p>b. Post caps:</p> <ol style="list-style-type: none"> Flat. Top rail. Aluminum bottom rail inserts. Bottom rail covers/Pickets, 91 inch. Fence brackets. Surface texture: Smooth. Color: <ol style="list-style-type: none"> Woodland Brown. <p>2.4 ACCESSORIES</p> <p>A. Fasteners: 1-5/8 inch galvanized or corrosion-resistant coated steel. Provide finish nails where applicable.</p> <p>B. Concrete: Provide as Specified in Section 03300; minimum 4000 PSI compressive strength at 28 days, with a 3 to 5 inch slump.</p> <p>3.1 EXAMINATION</p> <p>A. Do not begin installation until substrates have been properly prepared.</p> <p>B. If substrate preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding.</p> <p>3.2 PREPARATION</p> <p>A. Clean surfaces thoroughly prior to installation.</p> <p>B. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.</p> <p>3.3 INSTALLATION</p> <p>A. Install in accordance with manufacturer's instructions.</p> <p>B. Cut and drill wood composite using carbide tipped blades.</p> <p>C. Space posts maximum 8 feet on center.</p> <p>D. Drill post holes into undisturbed or compacted soil, excavate deeper in soft or loose soils and for posts with heavy lateral loads.</p> <p>E. Drill fence and single gate posts to 24 inch diameter. Drill double gate posts to 42 inch diameter. Embed bottoms of fence posts at least 24 inches into foundations and bottoms of gate posts at least 36 inches into foundations. Locate bottom of foundation excavations 60 inches below grade.</p> <p>F. Place top of concrete flush with finished grade.</p>											

1	2	3	5	6	7	8	9	10	11	12	13
<p>G. Screw fence brackets to posts with four 1-5/8 inch long exterior screws.</p> <p>H. Cut top rails, pickets, bottom rail covers and aluminum bottom rails to lengths required.</p> <p>I. Slide bottom rail covers over aluminum bottom rail pieces.</p> <p>J. Position aluminum bottom rail on fence brackets with deeper side of rail channel facing downward.</p> <p>K. Cut end pickets to height to provide clearance under brackets and screw to posts.</p> <p>L. Insert pickets into bottom rail, interlocking adjacent pieces.</p> <p>M. Position top rail and screw attach to top brackets with 1-5/8 inch long exterior screws.</p> <p>N. Use finish nails to secure pickets to rails if the pickets are not tightly interlocked.</p> <p>O. Place post caps over post tops and secure with construction adhesive or four finish nails.</p> <p>3.4 CLEANING</p> <p>A. Clean wood composite to remove stains:</p> <ol style="list-style-type: none"> Mild, milky, and berry and berry and leaf stains: Clean surfaces with conventional deck wash containing detergent or sodium hypochlorite. Rust and ground-in dirt: Clean surfaces with cleaner containing oxalic or phosphoric acid. Oil and grease: Clean surfaces with detergent containing degreasing agent. <p>3.5 PROTECTION</p> <p>A. Protect installed products until completion of project.</p> <p>B. Touch-up, repair or replace damaged products before Substantial Completion.</p> <p style="text-align: right;">END OF SECTION</p>											

no.	date	by	ckd	description
A	7/28/23	JJR	NS	ISSUED FOR REVIEW
B	11/20/23	JJR	NS	ISSUED FOR REVIEW
C	09/30/24	RDK	CJJ	ISSUED FOR 90% REVIEW
D	10/30/24	JJR	NS	ISSUED FOR REVIEW
E	4/4/25	JJR	CGM	ISSUED FOR REVIEW

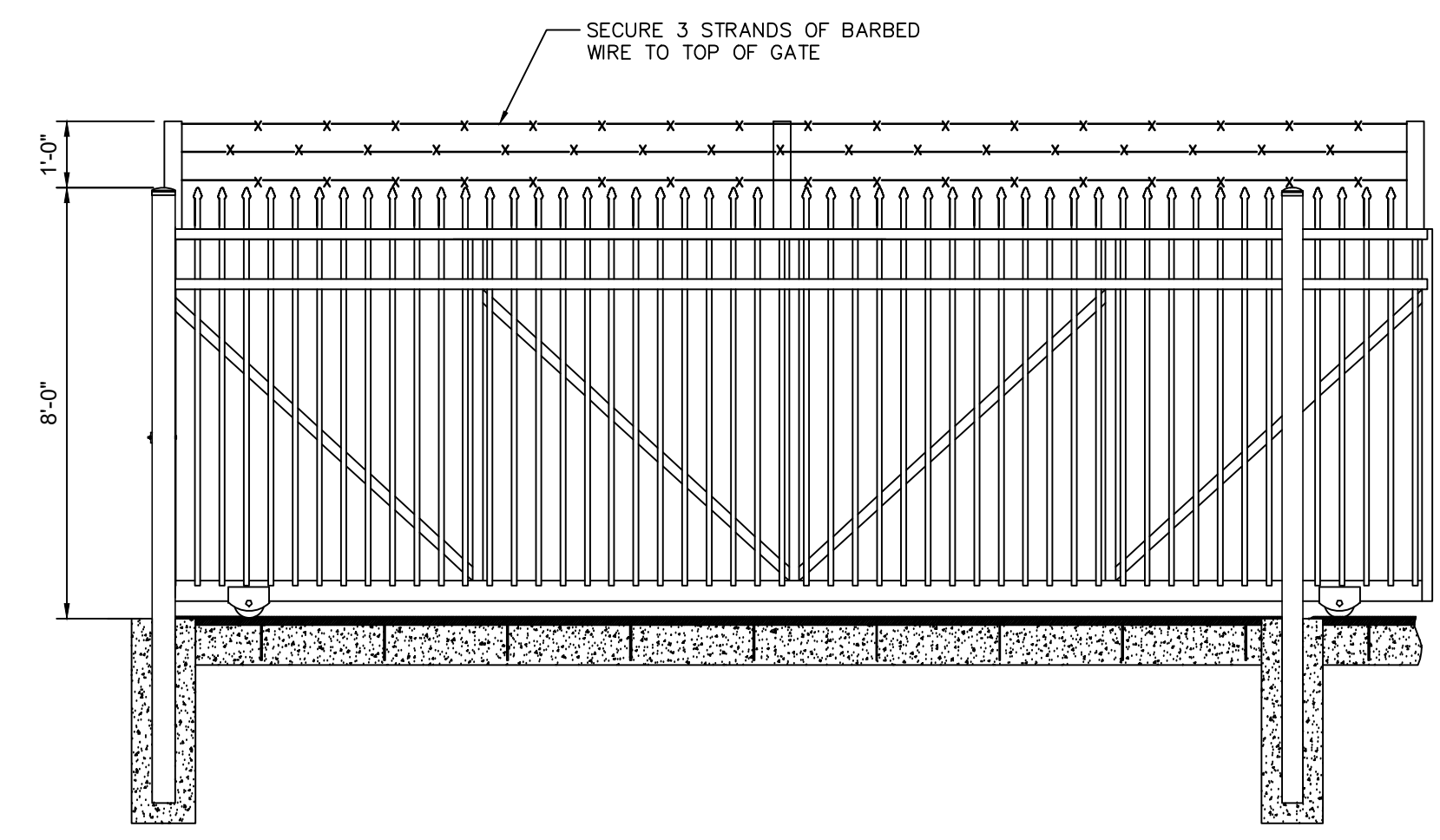
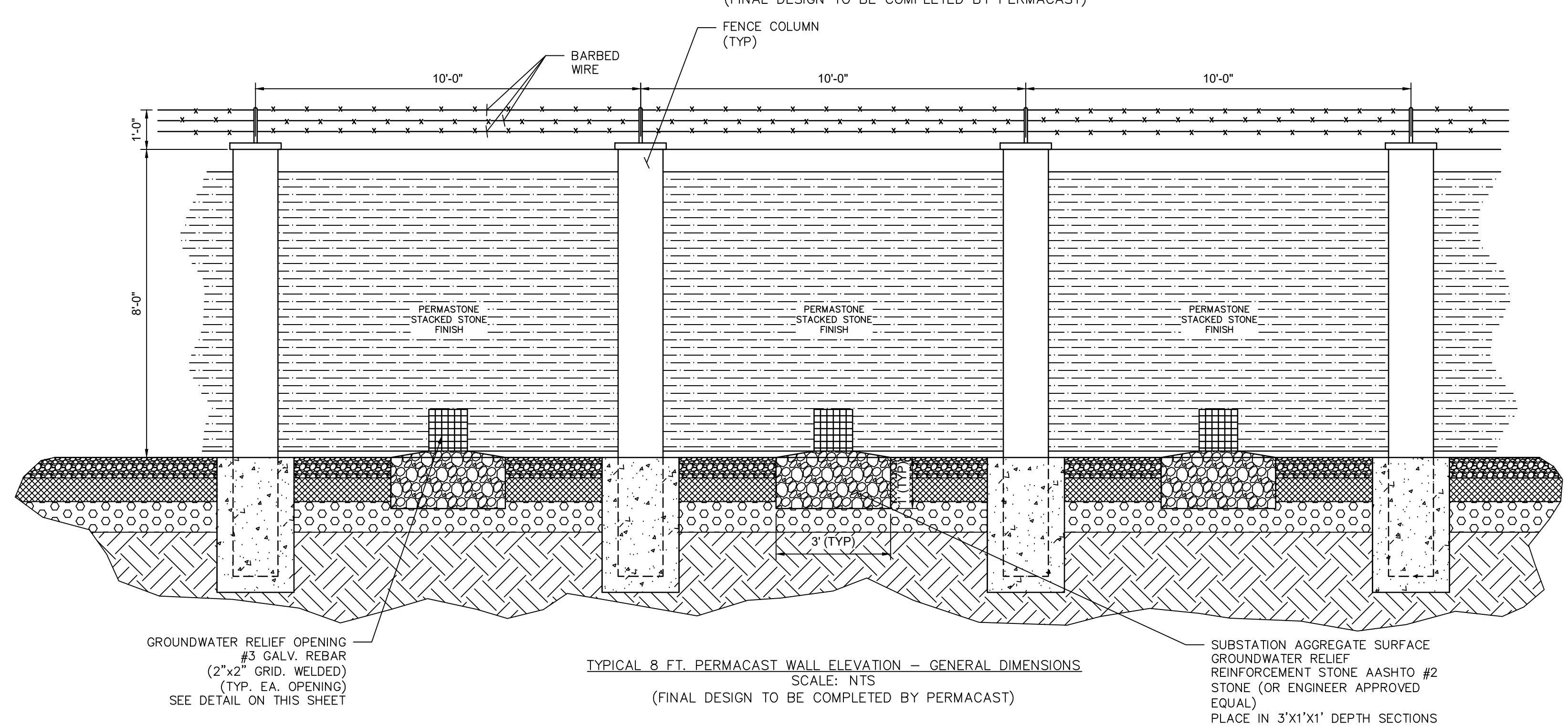
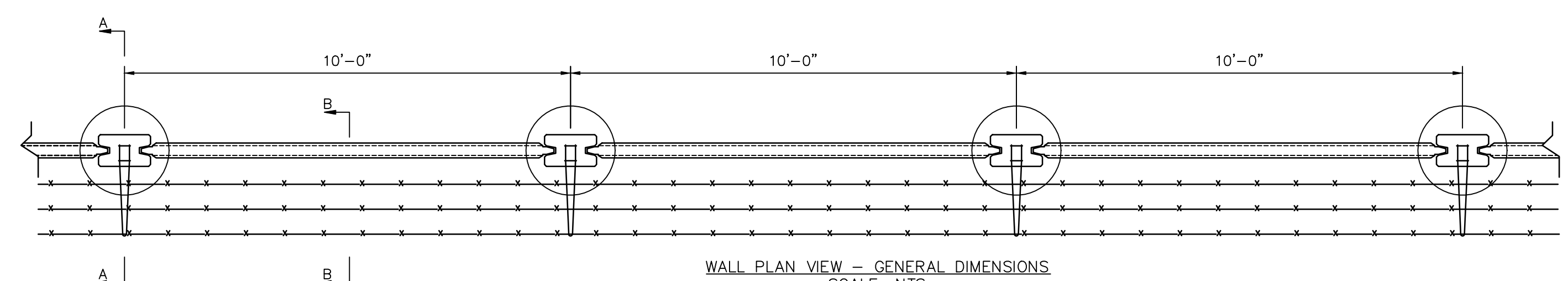


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ISSUED FOR REVIEW			
BURNS & MCDONNELL ENGINEERING LICENSE #F-845			
date	10/30/24	detailed	S. SCHENK
designed	D. KUHNIS	checked	C. JERGENSEN
BRYAN TEXAS UTILITIES			
69KV SHADY LANE STATION FENCE DETAILS			
project	155993	contract	-
drawing	11-CIV-11	rev.	E
sheet	10	of 14	sheets
file	11-CIV-11.DWG		

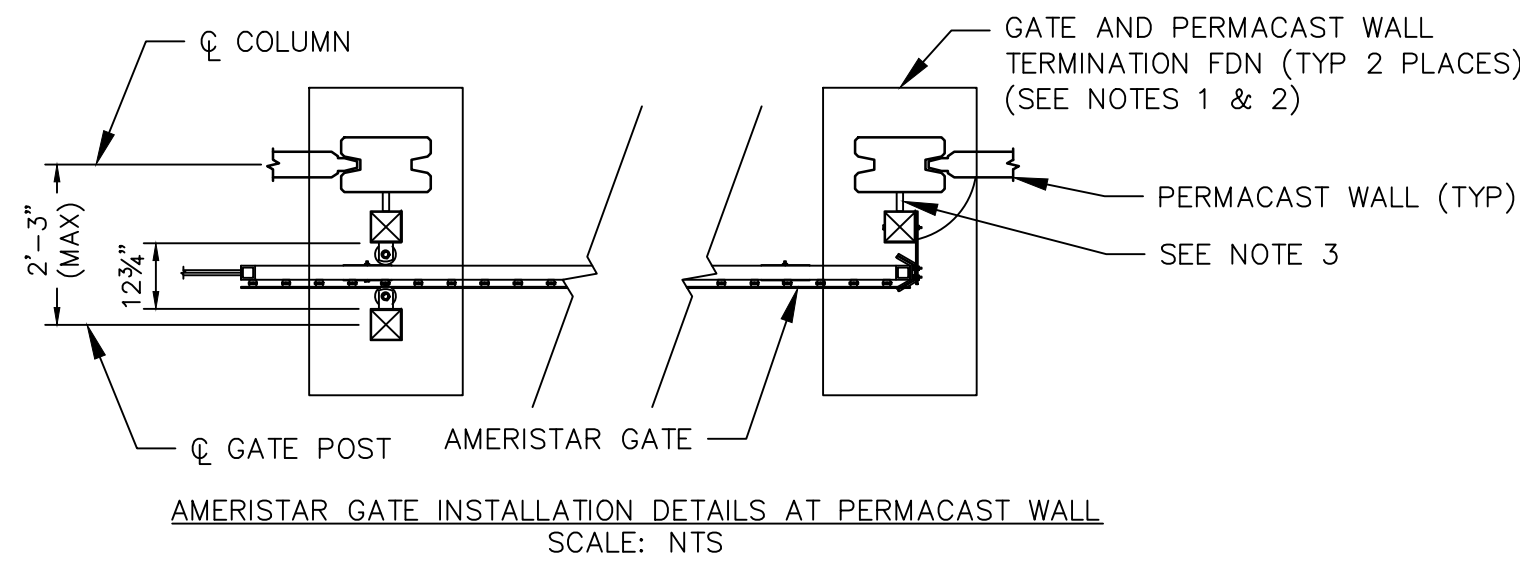
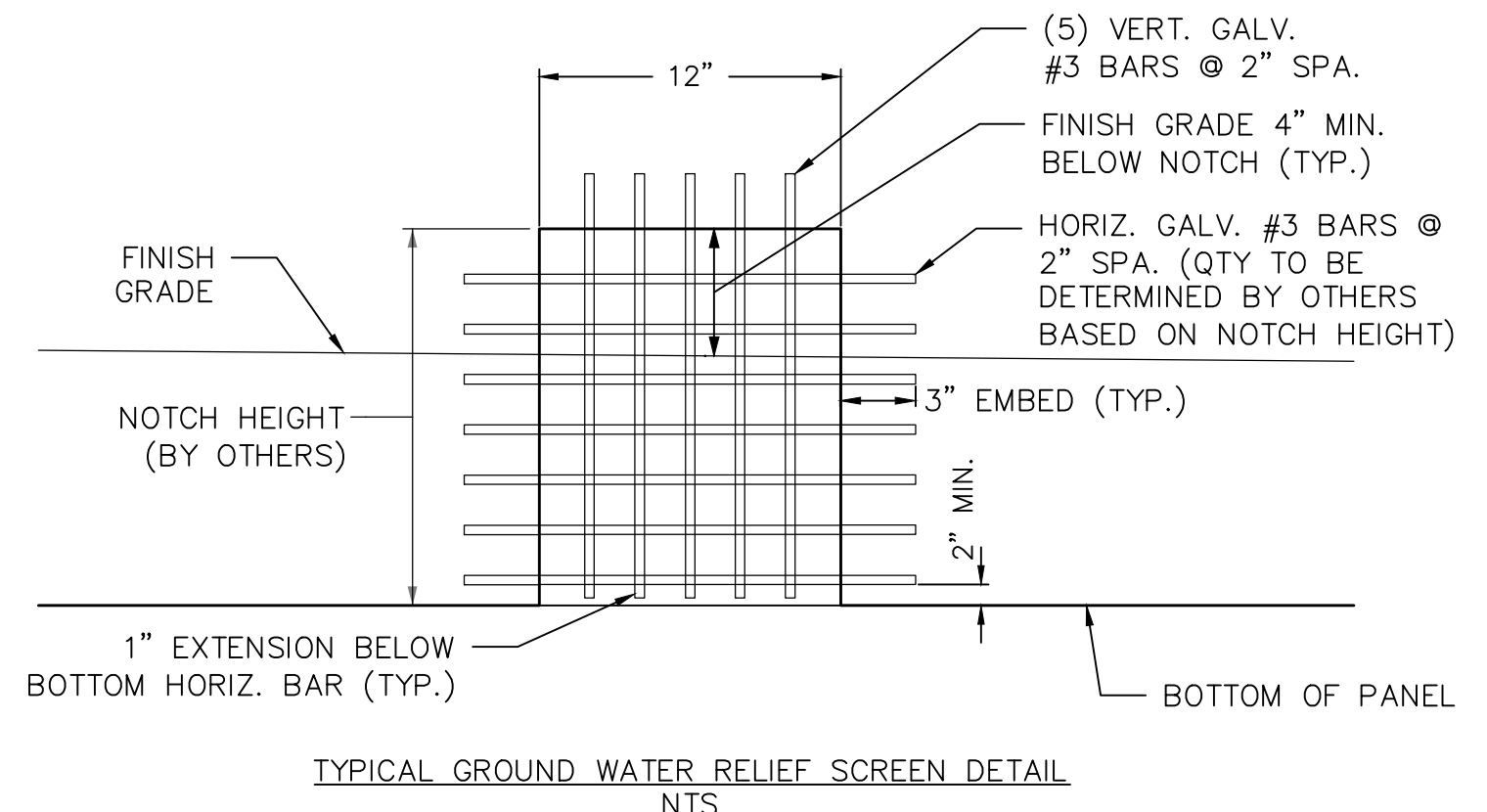
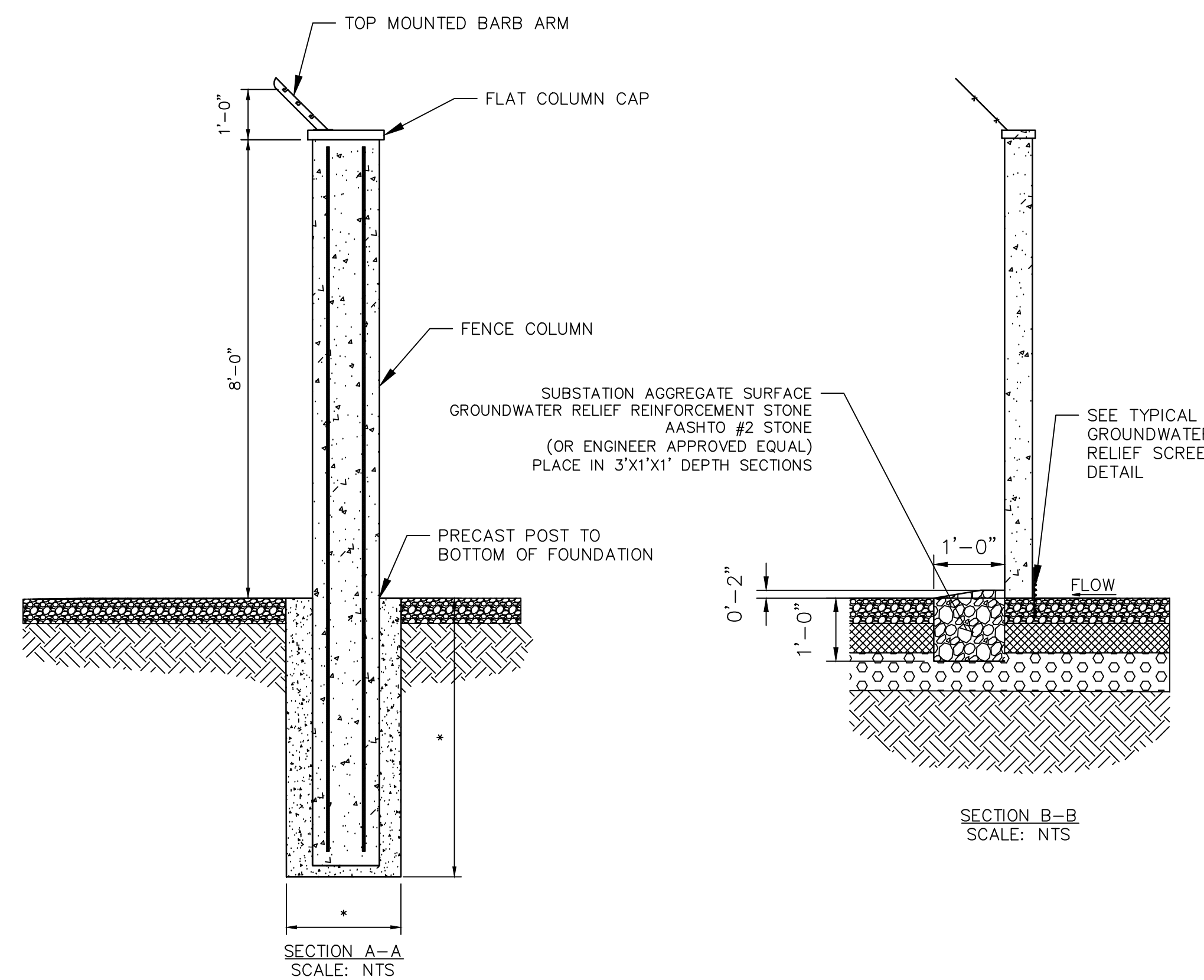


NOTE:			
1. CONTRACTOR SHALL COORDINATE WITH PERMACAST REGARDING THE ATTACHMENT OF THE TREX COLUMNS TO THE PERMACAST CONCRETE COLUMNS. COORDINATION SHALL OCCUR PRIOR TO PERMACAST DESIGNING THE PRECAST CONCRETE WALL.			
CONTACT INFORMATION: PERMACAST LLC 6015 21st St E BRADENTON, FL 34203 1-888-977-9255			
REFERENCES:			
11-CIV-02	DEMOMAN - PHASE 1		
11-CIV-03	EROSION CONTROL PLAN - PHASE 1		
11-CIV-04	EROSION CONTROL DETAILS		
11-CIV-05	DEMOMAN - PHASE 2		
11-CIV-06	SITE PLAN		
11-CIV-07	GRADING PLAN		
11-CIV-08	GRADING SECTIONS		
11-CIV-09	EROSION CONTROL PLAN - PHASE 2		
11-CIV-10	CIVIL DETAILS		
11-CIV-11	FENCE DETAILS		
11-CIV-12	OIL CONTAINMENT & CABLE TRENCH DETAILS		
11-CIV-13	TRAFFIC CONTROL PLAN		
11-CIV-14	TRAFFIC CONTROL PLAN		
11-CIV-15	TRAFFIC CONTROL DETAILS		

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TYPICAL AMERISTAR GATE WITH BARBED WIRE DETAIL
SCALE: NTS



WALL HEIGHT	FOUNDATION DIAMETER (INCHES)	FOUNDATION DEPTH (INCHES)
PERMASTONE 8FT. WALL HEIGHT ON 10 FT. CENTERS	BY PERMACAST	BY PERMACAST

TYPICAL PERMASTONE (10FT.0/C)
SCALE: NTS

DESIGN & INSTALLATION REQUIREMENTS:

- PRECAST CONCRETE WALL SHALL BE DESIGNED AND INSTALLED BY:
PERMACAST LLC
6015 21st ST E
BRADENTON, FL 34203
1-888-977-9255
- STRUCTURAL DESIGN SHALL MEET THE REQUIREMENTS OF THE 2021 INTERNATIONAL BUILDING CODE.
 - EXPOSURE C
 - RISK CATEGORY 3

NOTES:

- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE AMERISTAR GATE POSTS WITH PERMACAST. GATE POSTS SHALL BE INSTALLED AT THE SAME TIME AS THE PERMACAST WALL FOUNDATIONS, TO ALLOW FOR PROPER INSTALLATION. PERMACAST SHALL BE NOTIFIED OF THIS REQUIREMENT PRIOR TO STARTING WALL DESIGN ENGINEERING.
- AMERISTAR GATE POSTS SHALL BE EMBEDDED IN FOUNDATION A MINIMUM DISTANCE OF 36 INCHES.
- CONTRACTOR SHALL SEAL GAPS BETWEEN AMERISTAR GATE POSTS AND PERMACAST WALL COLUMNS.

REFERENCES:

- 11-CIV-02 DEMO PLAN - PHASE 1
- 11-CIV-03 EROSION CONTROL PLAN - PHASE 1
- 11-CIV-04 EROSION CONTROL DETAILS
- 11-CIV-05 DEMO PLAN - PHASE 2
- 11-CIV-06 SITE PLAN
- 11-CIV-07 GRADING PLAN
- 11-CIV-08 GRADING SECTIONS
- 11-CIV-09 EROSION CONTROL PLAN - PHASE 2
- 11-CIV-10 CIVIL DETAILS
- 11-CIV-11 FENCE DETAILS
- 11-CIV-13 OIL CONTAINMENT & C&B TRENCH DETAILS
- 11-CIV-14 TRAFFIC CONTROL PLAN
- 11-CIV-15 TRAFFIC CONTROL DETAILS

no.	date	by	ckd	description
A	7/28/23	JJR	NS	ISSUED FOR REVIEW
B	11/20/23	JJR	NS	ISSUED FOR REVIEW
C	09/30/24	RDK	CJJ	ISSUED FOR 90% REVIEW
D	10/30/24	RDK	CJJ	ISSUED FOR REVIEW
E	4/4/25	RDK	CJJ	ISSUED FOR REVIEW

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ISSUED FOR REVIEW



date	10/30/24	detailed	S. SCHENK
designed	D. KUHNIS	checked	C. JERGENSEN

BRYAN TEXAS UTILITIES

69KV SHADY LANE STATION FENCE DETAILS

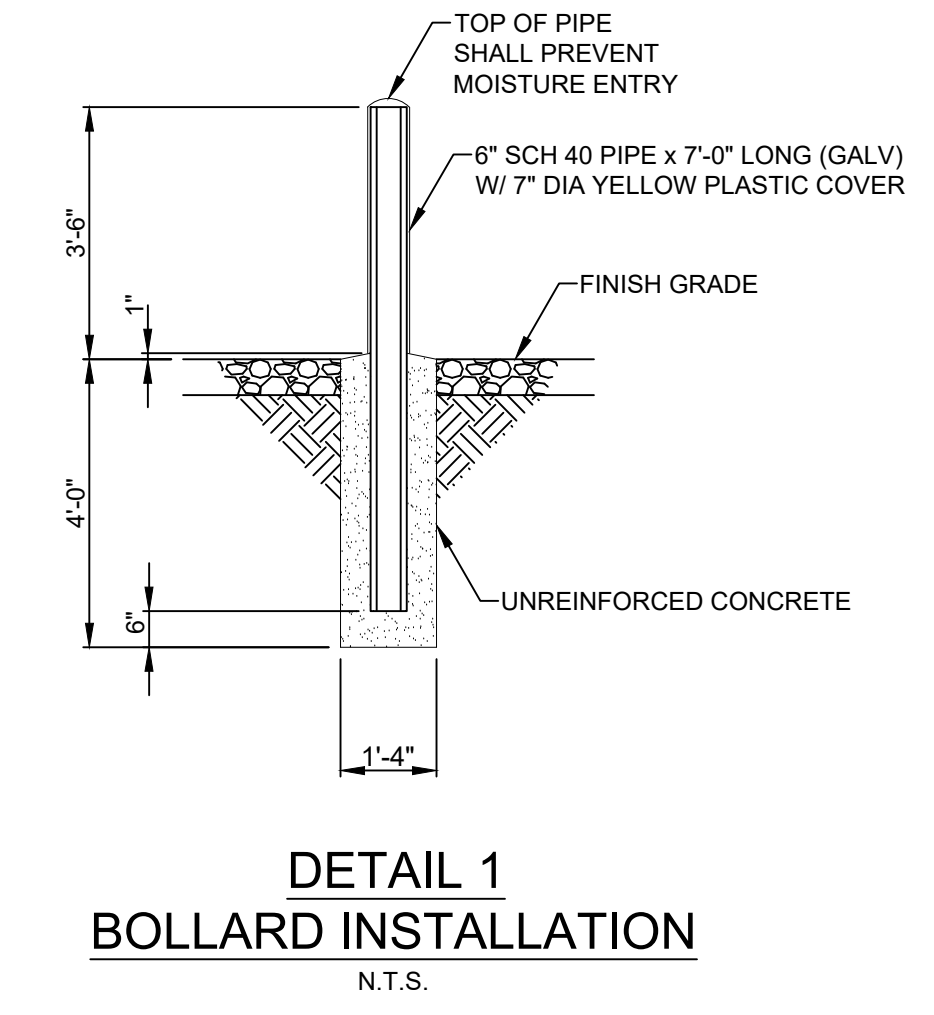
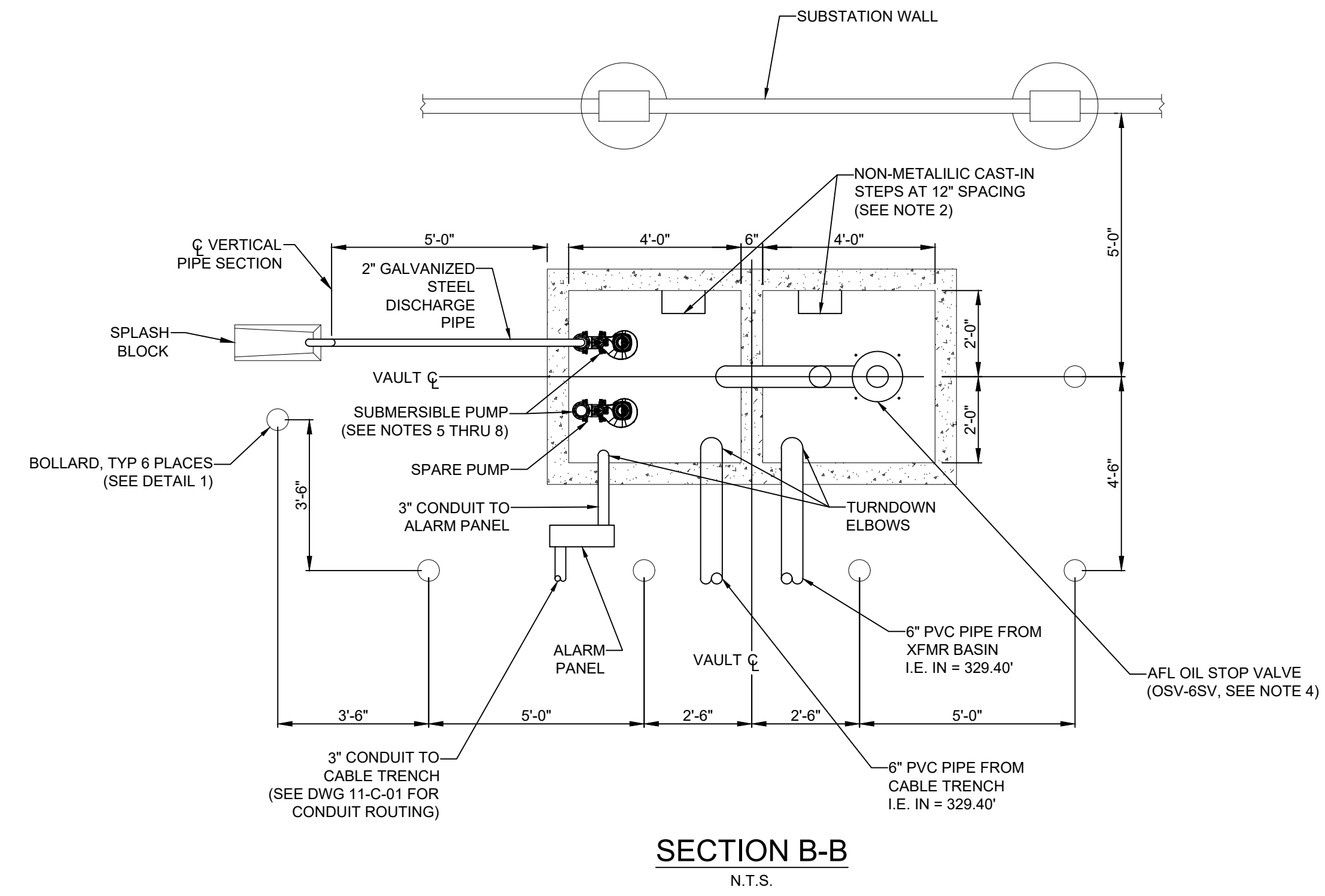
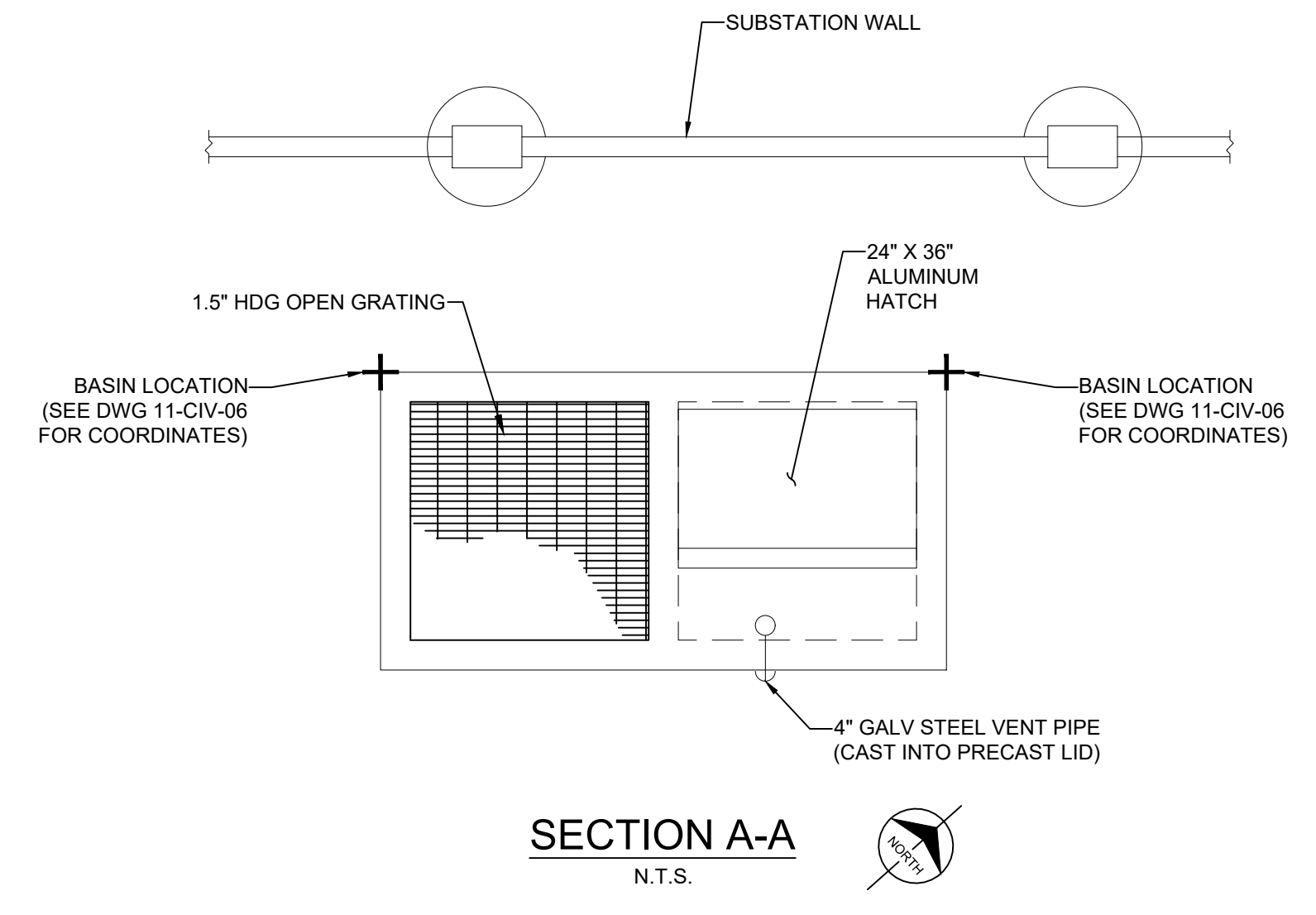
project	155993	contract	-
drawing	11-CIV-12	rev.	E
sheet	11	of	14 sheets
file	11-CIV-12.DWG		

Scale For Microfilming
Millimeters

Inches

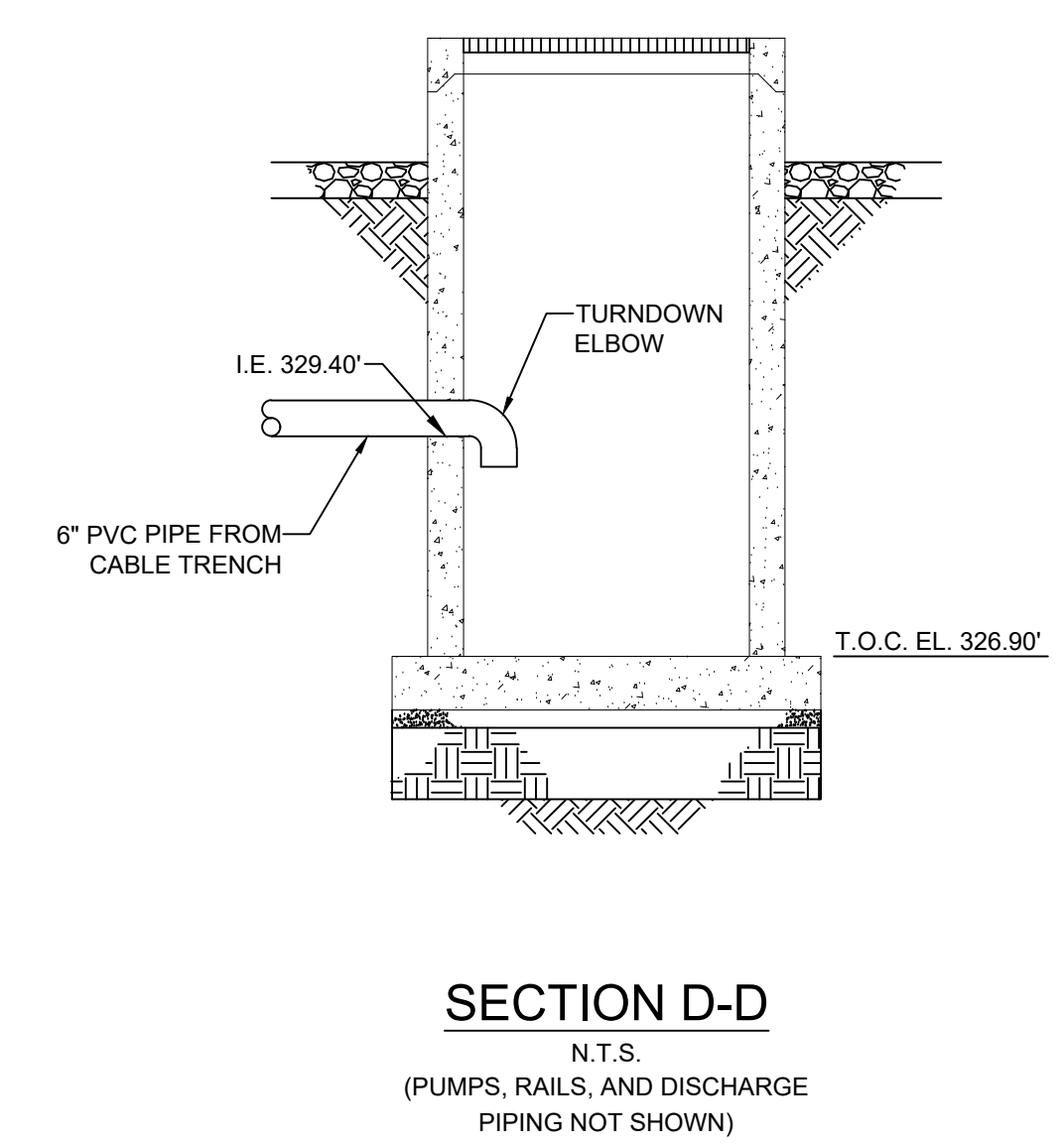
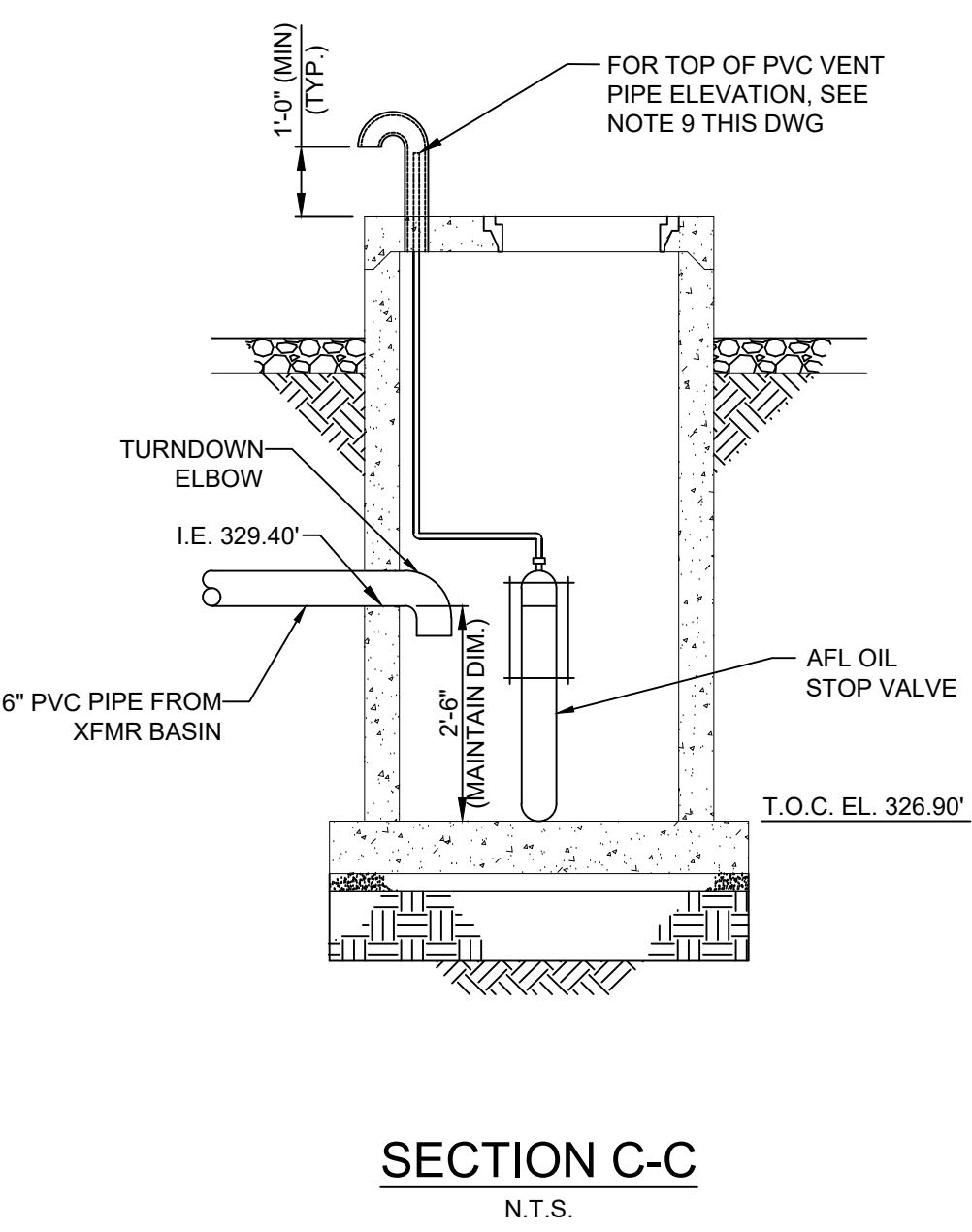
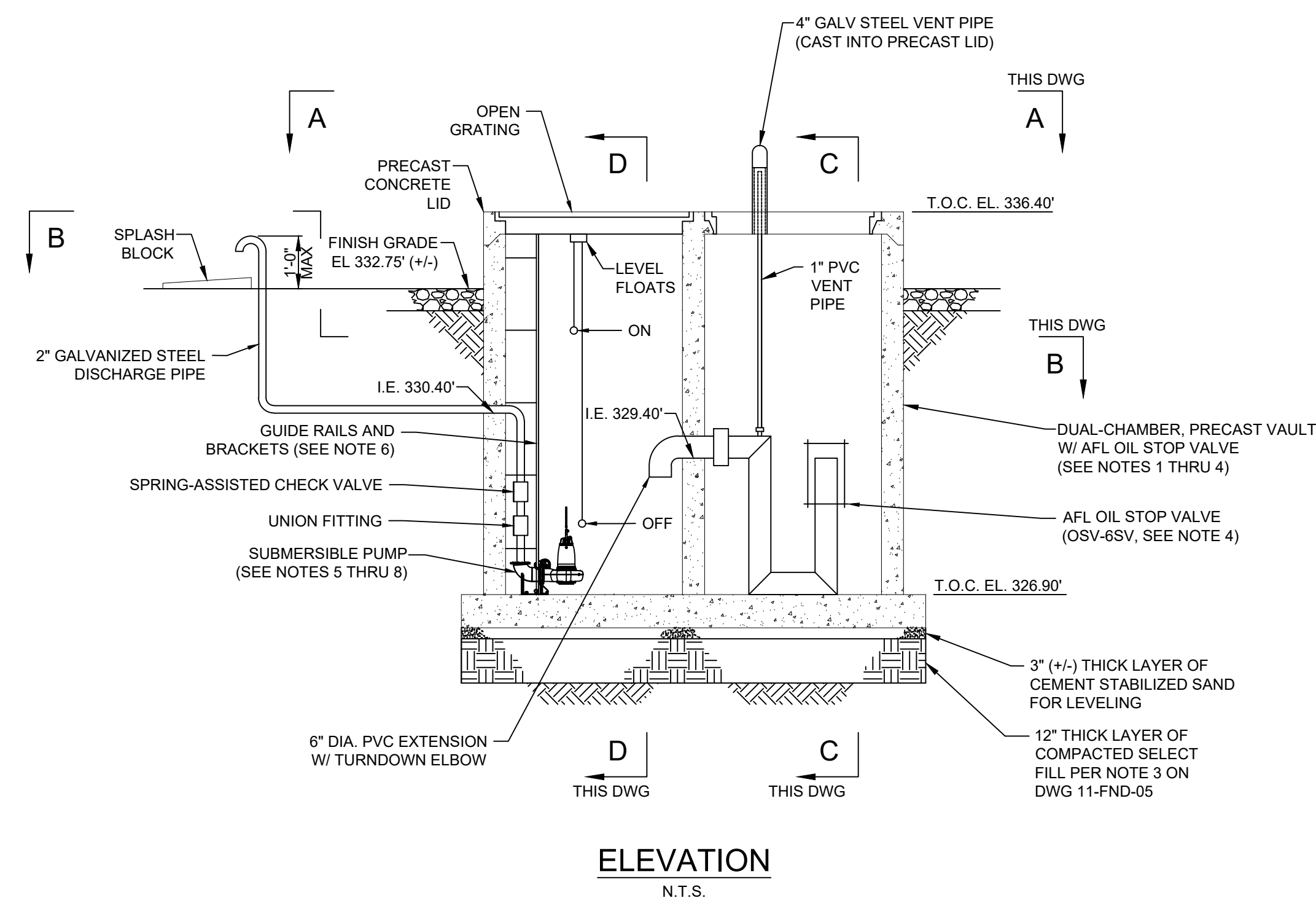
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no.	date	by	ckd	description
A	10/30/24	RDK	CJJ	ISSUED FOR 90% REVIEW



NOTES:

- DUAL-CHAMBER, PRECAST VAULT SHALL BE DESIGNED BY A PRECAST CONCRETE MANUFACTURER AND SHALL ALSO BE DESIGNED FOR BUOYANCY ASSUMING THE GROUNDWATER ELEVATION TO BE AT GRADE.
- PRECAST VAULT SHALL INCLUDE: PRESS-SEAL WATERTIGHT BOOTS FOR 6" PIPE PENETRATIONS; M.A. INDUSTRIES POLYPROPYLENE MANHOLE STEPS; ONE 4" GALVANIZED STEEL VENT PIPE CAST INTO COVER; ONE 6" PVC OIL STOP VALVE BY AFL INDUSTRIES; BUTYL ROPE MASTIC IN JOINTS; AND TWO EXTERIOR COATS OF MANUFACTURING PLANT-APPLIED CONSEAL CONCRETE SEALANT (CS-55 BLACK DAMP-PROOFING).
- CONTRACTOR SHALL WASH OUT INTERIOR SURFACES OF VAULT BEFORE AND AFTER INSTALLATION TO REMOVE ANY DEBRIS THAT MIGHT CLOG OR FOUL THE OIL STOP VALVE OR PUMPS.
- CONTRACTOR TO INSTALL 6" PVC OIL STOP VALVE (MODEL OSV-6SV, BY AFL INDUSTRIES) IN VAULT PER THE MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL ALSO PROVIDE AND INSTALL: 1) A STAINLESS STEEL HOLD DOWN STRAP FOR VALVE WITH 2 HILTI EXPANSION ANCHORS (KB3 1/2" X 4 1/2" LT SS304); 2) A 1" SCH 40 PVC SIPHON BREAK VENT PIPE ON TOP OF VALVE; 3) A 6" DIAMETER PVC JOINT AND EXTENSION PIECE THROUGH CHAMBER-DIVIDING WALL; AND 4) PIPE TURNDOWNS AT ALL 6" PIPE PENETRATIONS.
- CONTRACTOR SHALL COORDINATE WITH THE PUMP SUPPLIER FOR PUMP DISCHARGE CONNECTION INTERFACE DETAIL.
- GUIDE RAILS, BRACKETS, BASE ELBOW, AND LIFTING CHAIN SHALL BE PROVIDED BY THE PUMP SUPPLIER. RAILS AND BRACKETS SHALL BE STAINLESS STEEL.
- PUMP SUPPLIER SHALL PROVIDE ALL PUMP CONTROLS REQUIRED FOR BASIC OPERATION, INCLUDING LOCAL CONTROL PANEL AND FLOAT ASSEMBLY.
- REFER TO SPECIFICATION 02626 - SUBMERSIBLE SLUMP PUMPS FOR ADDITIONAL INFORMATION REGARDING THE PUMP AND ASSOCIATED ITEMS.
- TOP OF PVC VENT PIPE TO BE SET WITHIN GALVANIZED PIPE. TOP OF PVC VENT PIPE ELEVATION SHALL NOT BE LOWER THAN THE TOP OF THE TR-112 TRANSFORMER CONTAINMENT BASIN (I.E. TOP OF PVC VENT PIPE MUST BE HIGHER THAN ELEVATION 336.30'). ROUTING OF VENT PIPE SHALL NOT IMPEDE ACCESS TO INTERIOR OF MANHOLE.
- PVC PIPE AND FITTINGS SUPPLIED FOR THIS PROJECT SHALL BE SCHEDULE 80. ALL JOINTS SHALL BE CONSTRUCTED WITH SOLVENT CEMENT PER THE MANUFACTURER'S RECOMMENDATIONS.
- FOR NOTES PERTAINING TO FILL MATERIAL, CONCRETE REQUIREMENTS, AND STEEL REINFORCEMENT REQUIREMENTS, REFER TO DRAWINGS 11-FND-05 AND 11-FND-07.



REFERENCE DRAWINGS:

CONDUIT PLAN	11-C-01
SITE PLAN	11-CIV-06
FOUNDATION PLAN	11-FND-01
GROUNDING PLAN	11-GND-01

RELEASED FOR REVIEW ONLY BY RONALD DAVID KUHN, JR., P.E. #117894 ON 10/30/2024 AND SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION PURPOSES.

ISSUED FOR REVIEW



date	10/30/24	detailed	D. KUHN
designed	D. KUHN	checked	C. JERGENSEN

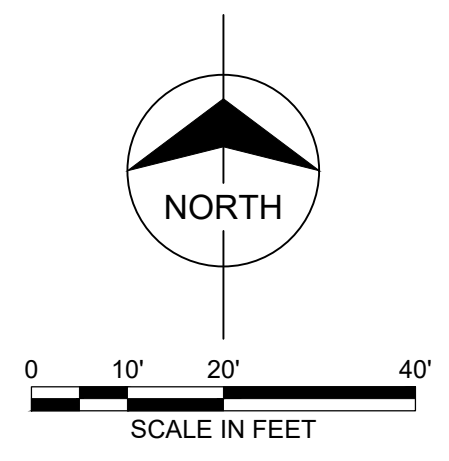
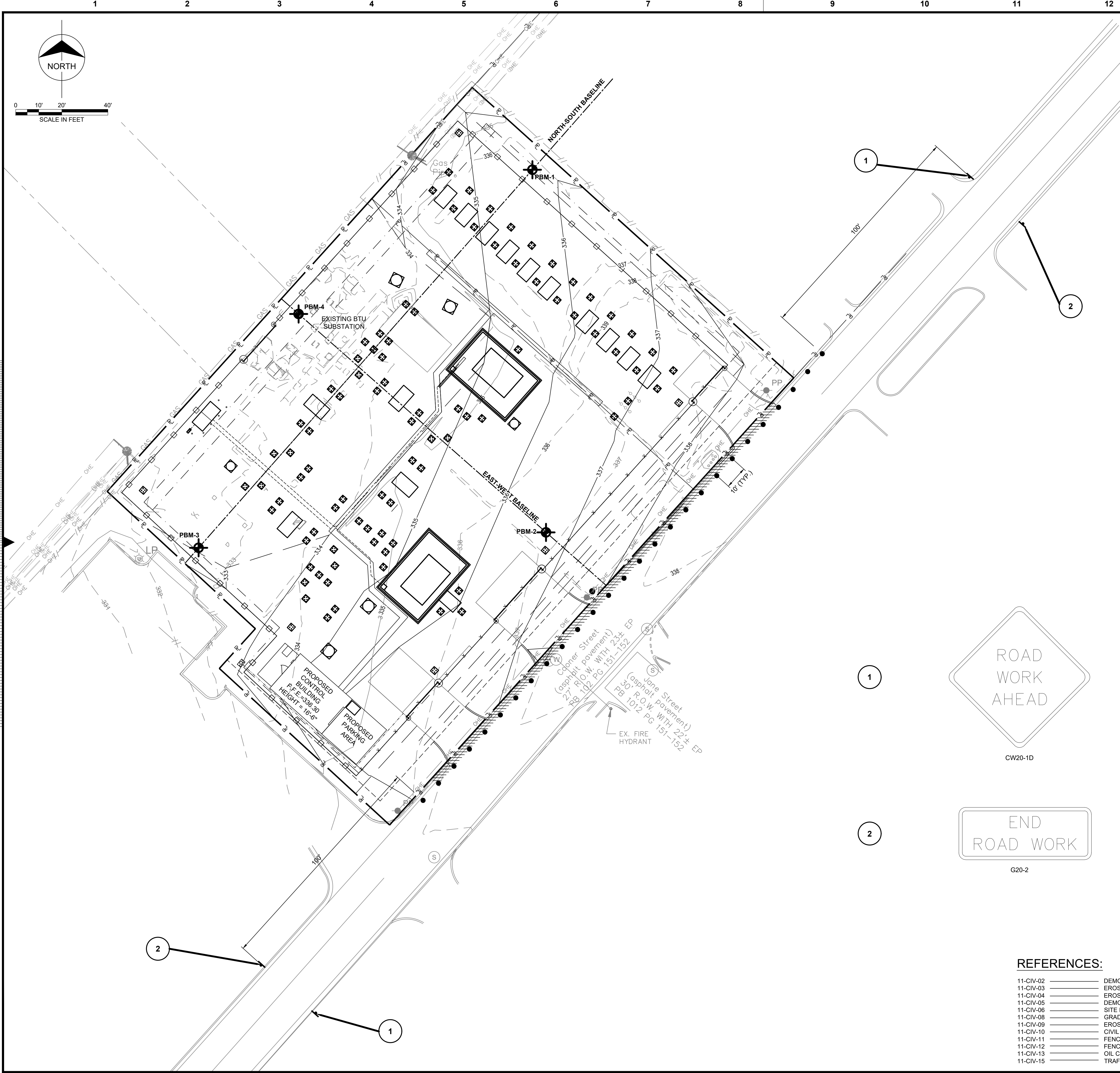
BRYAN TEXAS UTILITIES

69kV SHADY LANE STATION
OIL CONTAINMENT & CABLE TRENCH DRAINAGE PUMPING BASIN DETAILS

project	155993	contract	-
drawing	11-CIV-13	rev.	A
sheet	12	of	14 sheets
file	11-CIV-13.DWG		

Scale For Microfilming

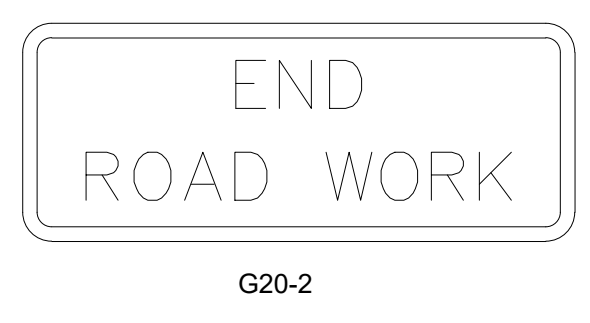
Inches



NOTES:
 1. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH BCS UNITED SPECIFICATIONS 01 55 26 AND THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

LEGEND:

	EXISTING WOODEN FENCE
	PROPOSED COMPOSITE FENCE
	PROPOSED PERMACAST WALL
	PROPERTY LINE
	EASEMENT LINE
	RIGHT-OF-WAY
	EXISTING OVERHEAD ELECTRIC
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED WORK ZONE (WITHIN COONER STREET RIGHT-OF-WAY)
	PROPOSED CHANNELIZING DEVICES
	PROPOSED SIGN



REFERENCES:

11-CIV-02	DEMO PLAN - PHASE 1
11-CIV-03	EROSION CONTROL PLAN - PHASE 1
11-CIV-04	EROSION CONTROL DETAILS
11-CIV-05	DEMO PLAN - PHASE 2
11-CIV-06	SITE PLAN
11-CIV-08	GRADING SECTIONS
11-CIV-09	EROSION CONTROL PLAN - PHASE 2
11-CIV-10	CIVIL DETAILS
11-CIV-11	FENCE DETAILS
11-CIV-12	FENCE DETAILS
11-CIV-13	OIL CONTAINMENT & CABLE TRENCH DETAILS
11-CIV-15	TRAFFIC CONTROL DETAILS

no.	date	by	ckd	description
A	4/4/25	JJR	CGM	ISSUED FOR REVIEW
B	6/6/25	JJR	CGM	ISSUED FOR REVIEW

RELEASED FOR REVIEW ONLY BY JASON RINGER, P.E. #136870 ON 6/6/2025 AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

ISSUED FOR REVIEW



date	4/4/25	detailed	S. SCHENK
designed	J. RINGER	checked	N. SANCHEZ

BRYAN TEXAS UTILITIES

SHADY LANE SUBSTATION TRAFFIC CONTROL PLAN

project	155993	contract	-
drawing	11-CIV-14	rev.	B
sheet	13	of	14 sheets
file	11-CIV-14.DWG		

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